

VIVAS RESIDENCE

HOUSE PLAN GALLERY, INC.

6659 HWY. 98 WEST, HATTIESBURG MS, 39402
 PHONE: (601) 264-4403 || FAX: (601) 264-4483

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DATE:
05/19/05

DRAWN BY:
J.A.B.

CHECKED BY:
G.L.M.

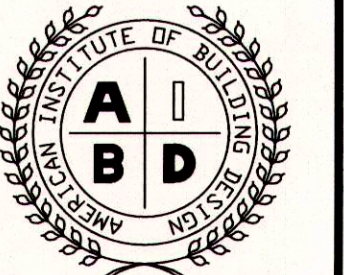
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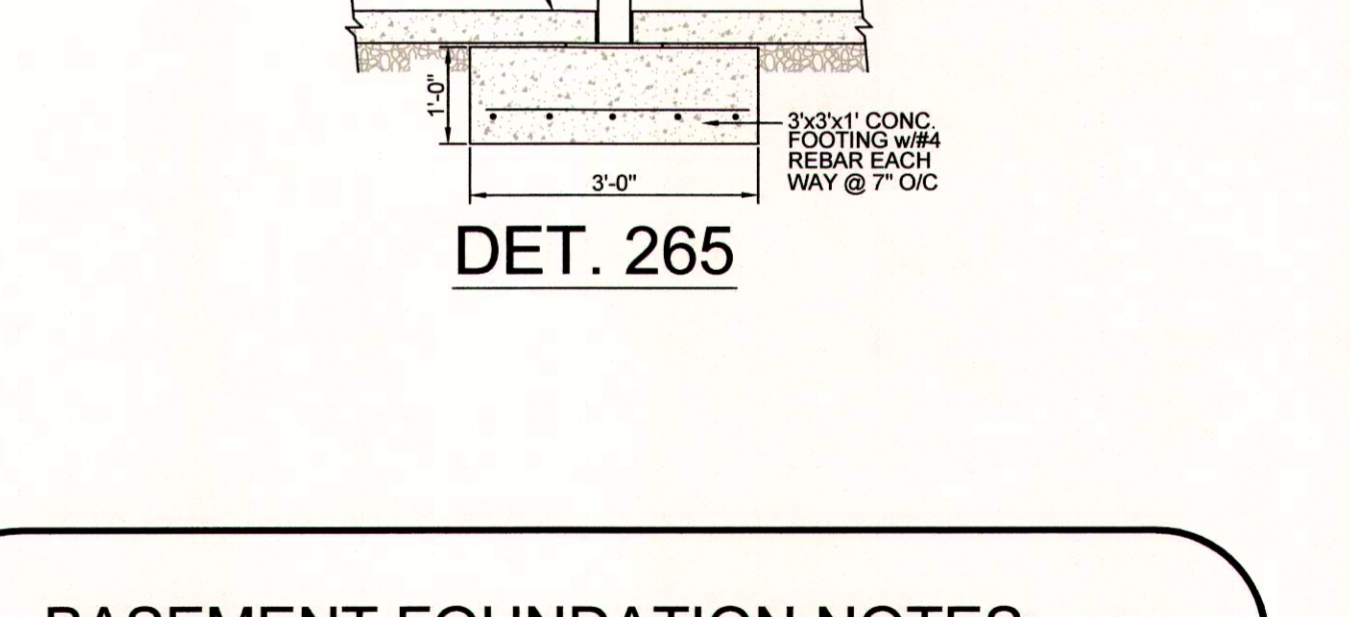
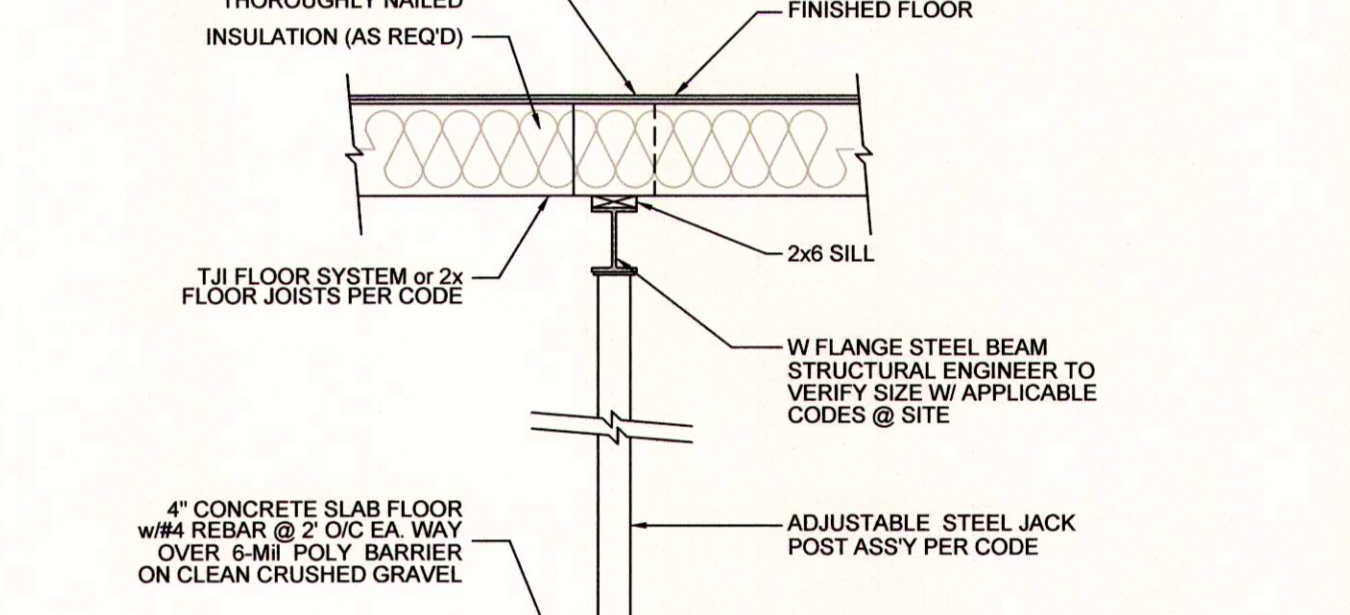
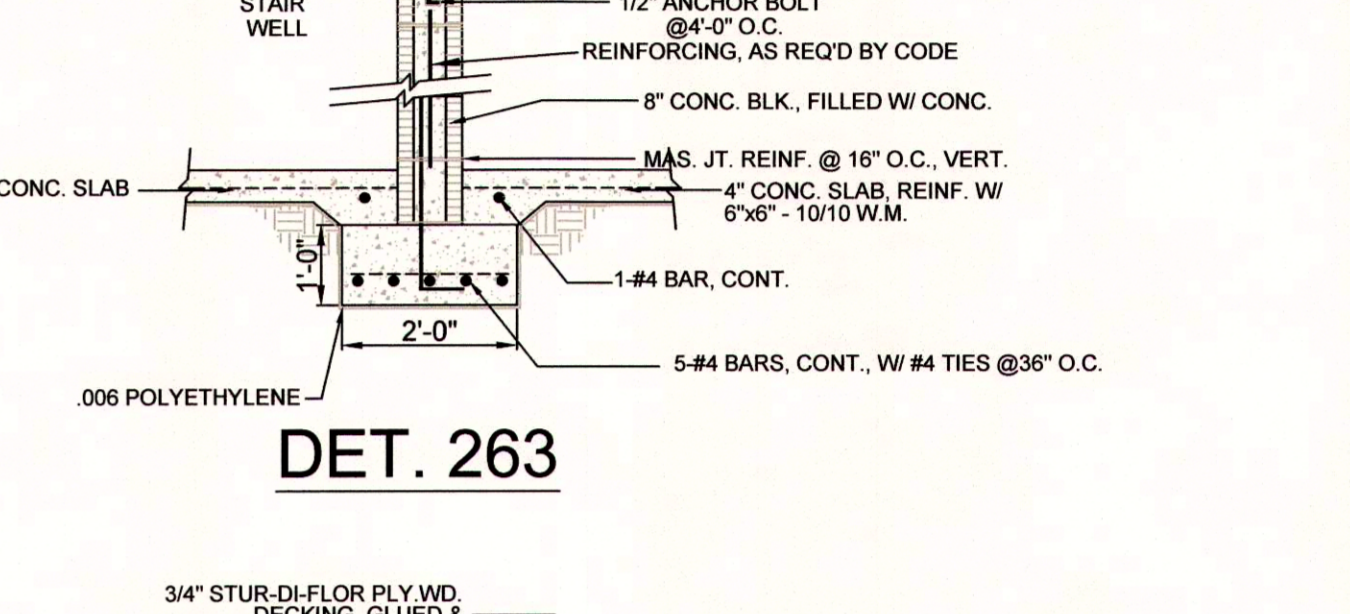
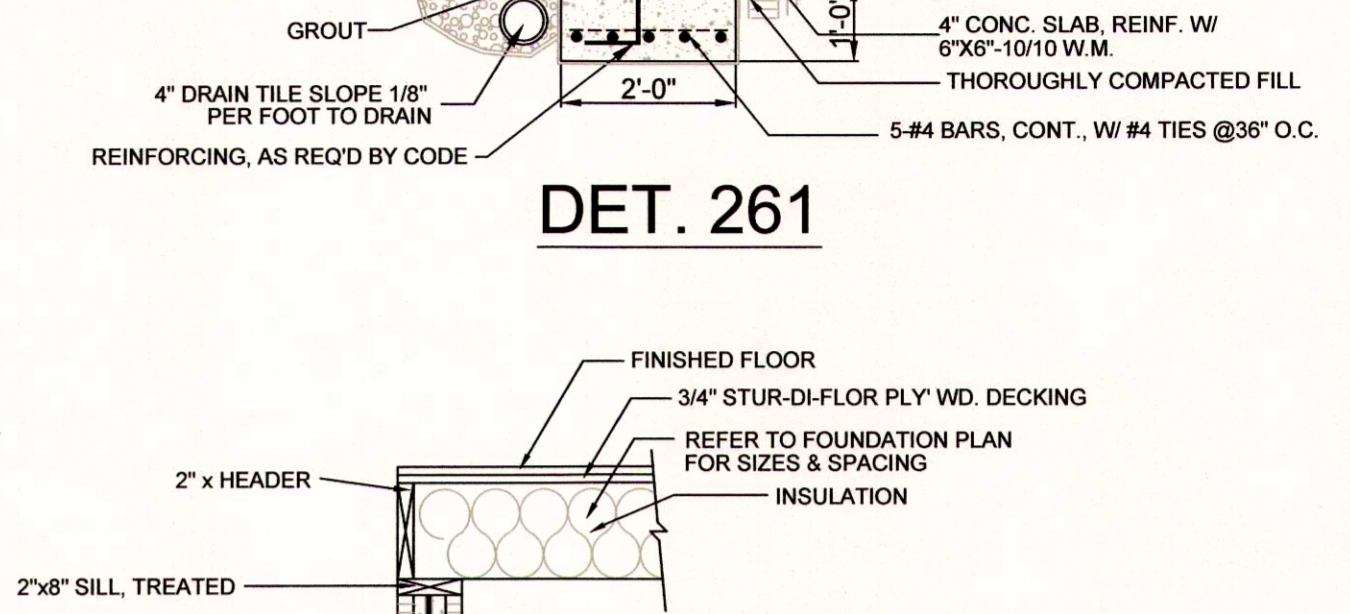
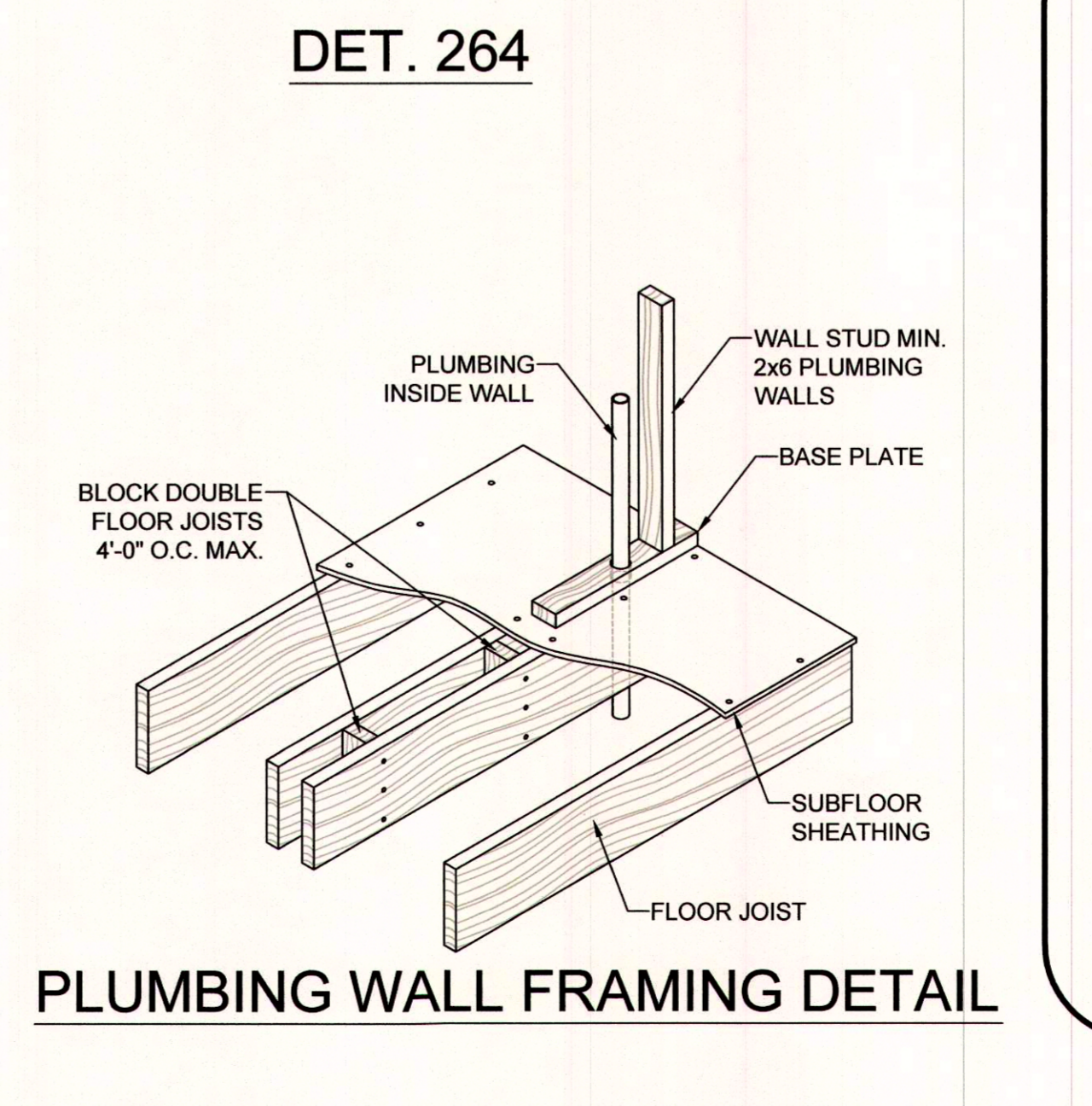
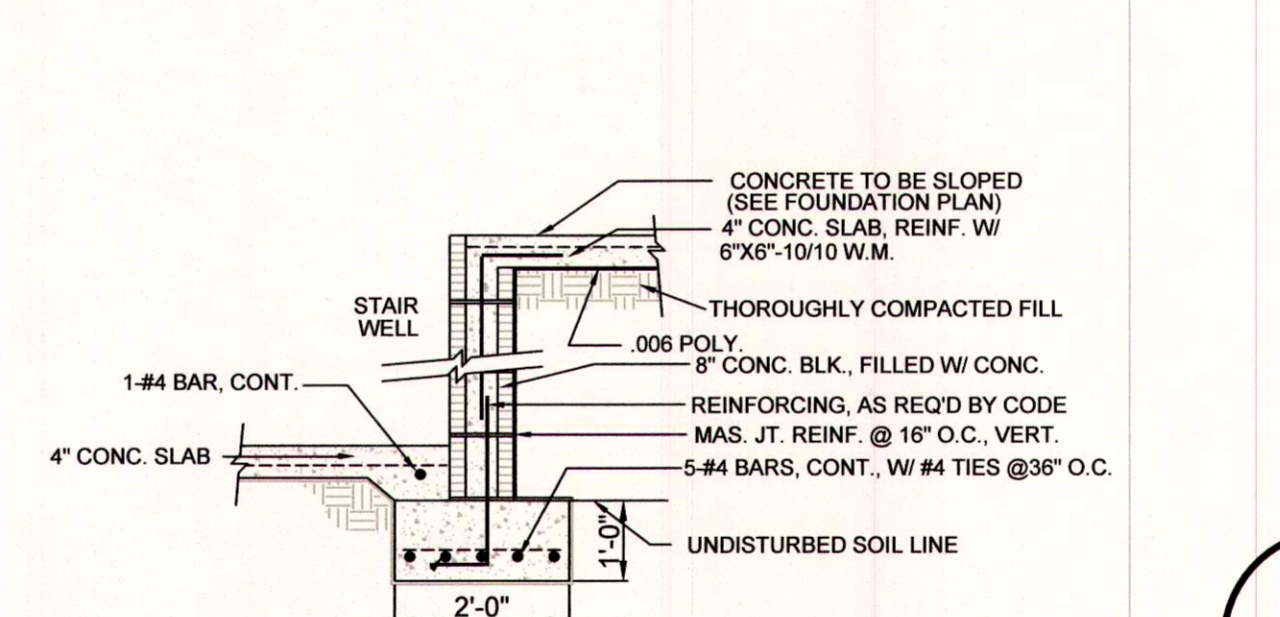
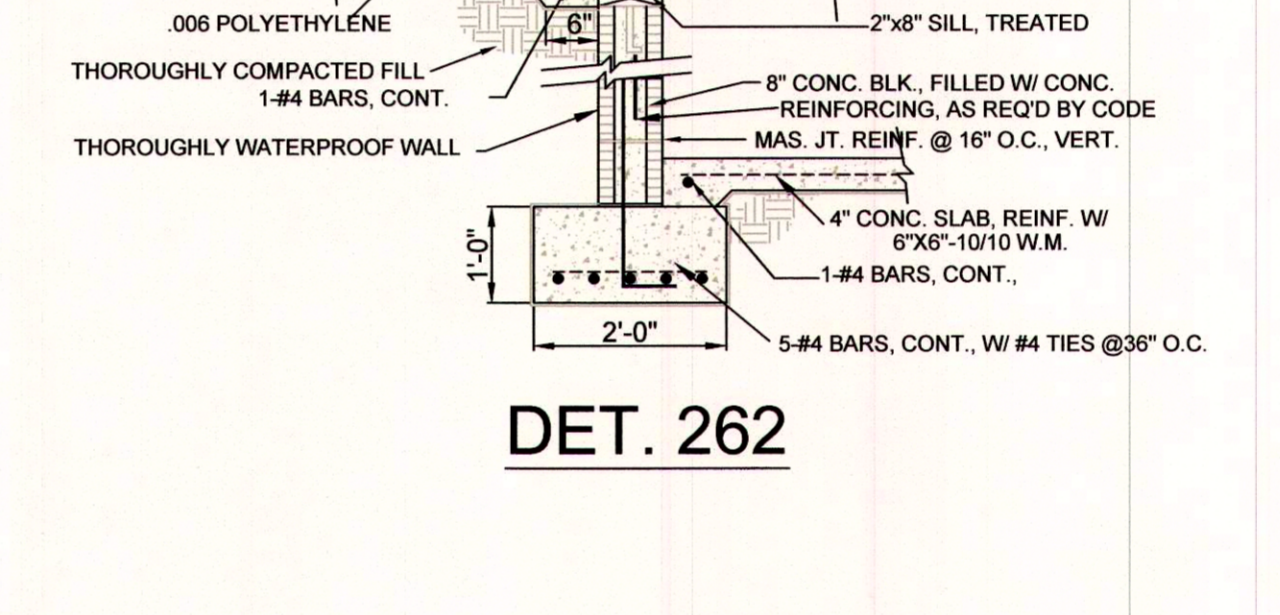
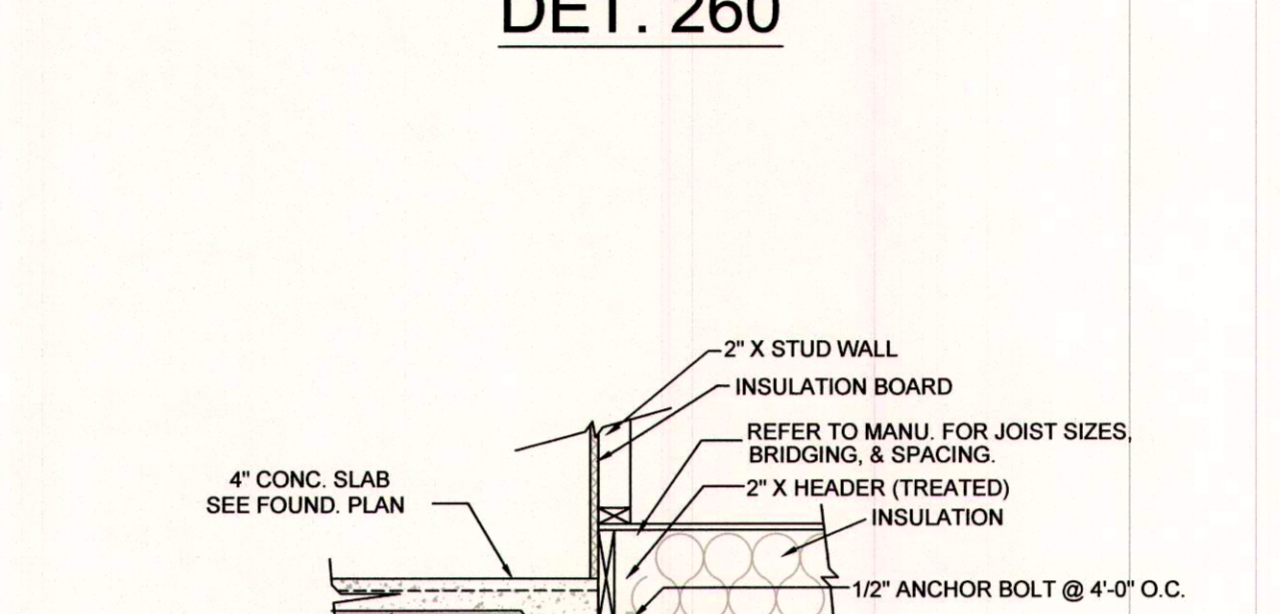
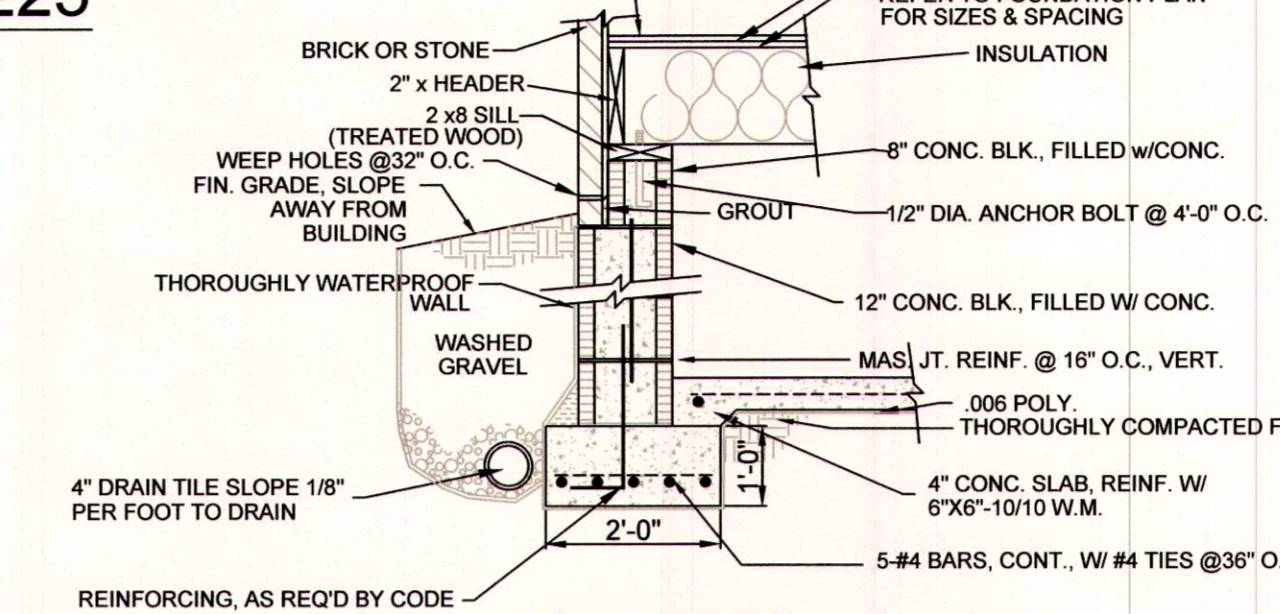
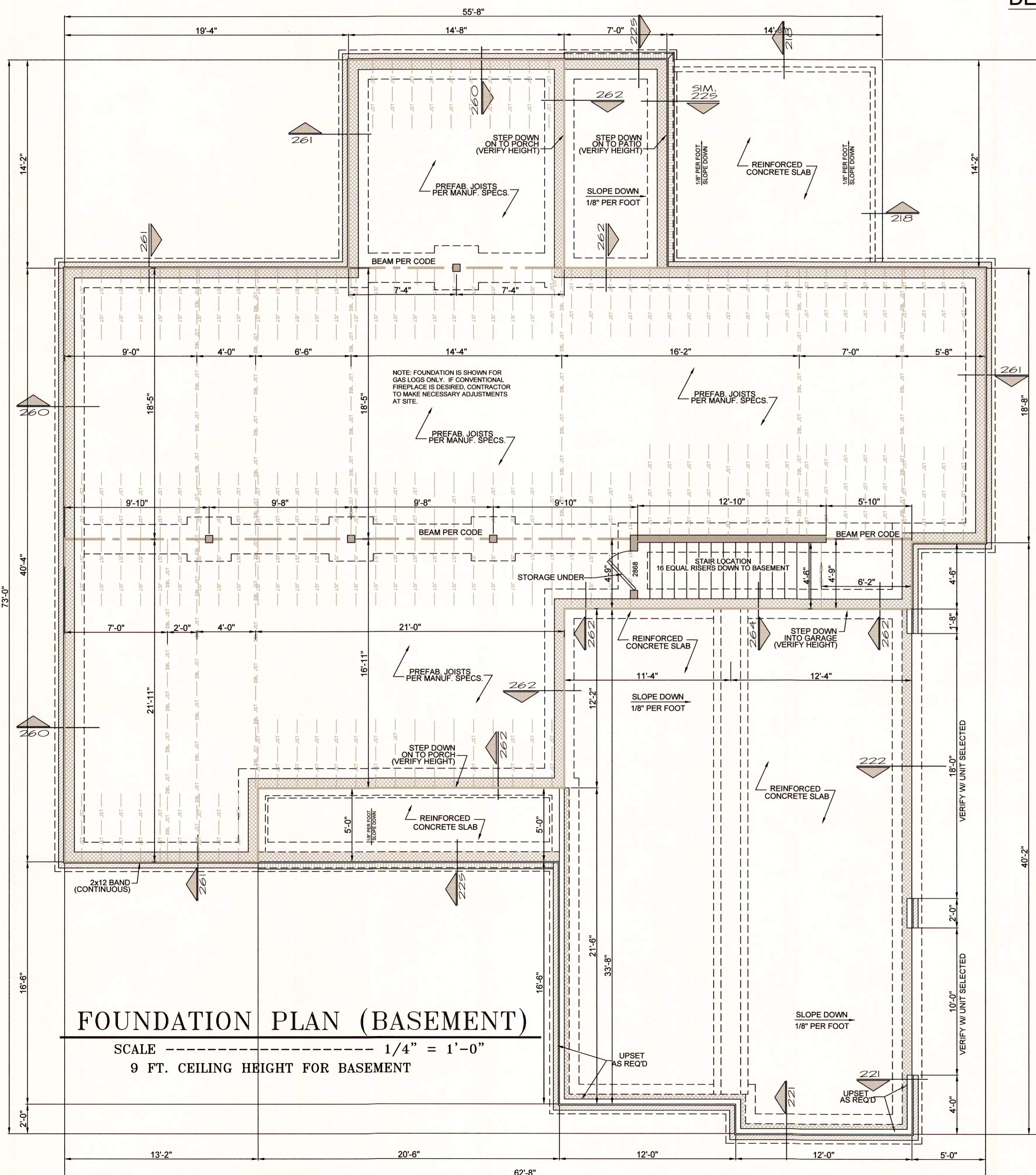
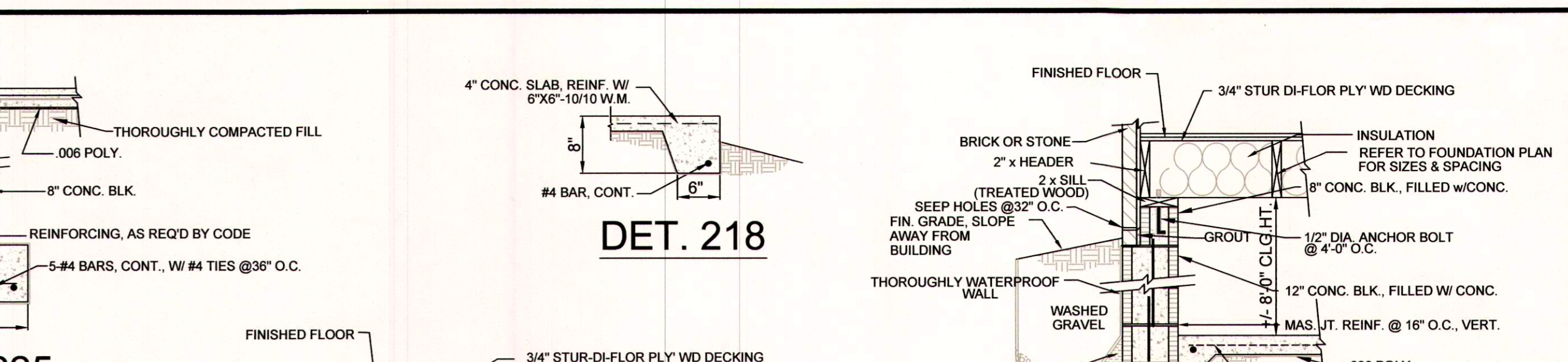
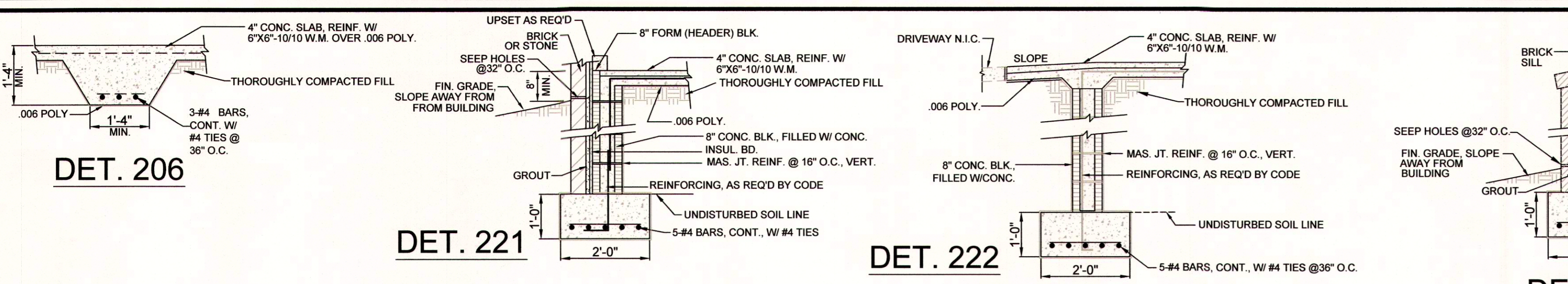
VIVAS
MODIFICATIONS

SHEET NUMBER

1

PROFESSIONAL
MEMBER





BASEMENT FOUNDATION NOTES:

1. WE RECOMMEND THAT ALL FOOTING SIZES BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER, BASED ON SOILS ANALYSIS AT SITE, PRIOR TO CONSTRUCTION.
2. FOUNDATION SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
3. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS WITH FOUNDATION PLAN AND MAKE NECESSARY ADJUSTMENTS.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROPER DRAINAGE AT SITE.
6. GLUE ALL STUR-DI-FLOOR PLYWOOD TO FLOOR FRAMING AND NAIL SECURELY W/ RING-SHANK NAILS.
7. ALL FOUNDATION DETAILS ARE TYPICAL. SOME VARIATIONS MAY OCCUR. CONTRACTOR TO MAKE NECESSARY ADJUSTMENTS AT SITE.
8. CONTRACTOR TO PROPERLY SLOPE PORCHES & GARAGE AWAY FROM RESIDENCE FOR PROPER DRAINAGE.
9. PROVIDE DOUBLE JOISTS UNDER ALL WALLS RUNNING PARALLEL TO FLOOR JOISTS.
10. ALL CONCRETE TO BE 4" (3000 psi MIN.) SLABS REINFORCED W/ 6"x6" - 10/10 W.M.

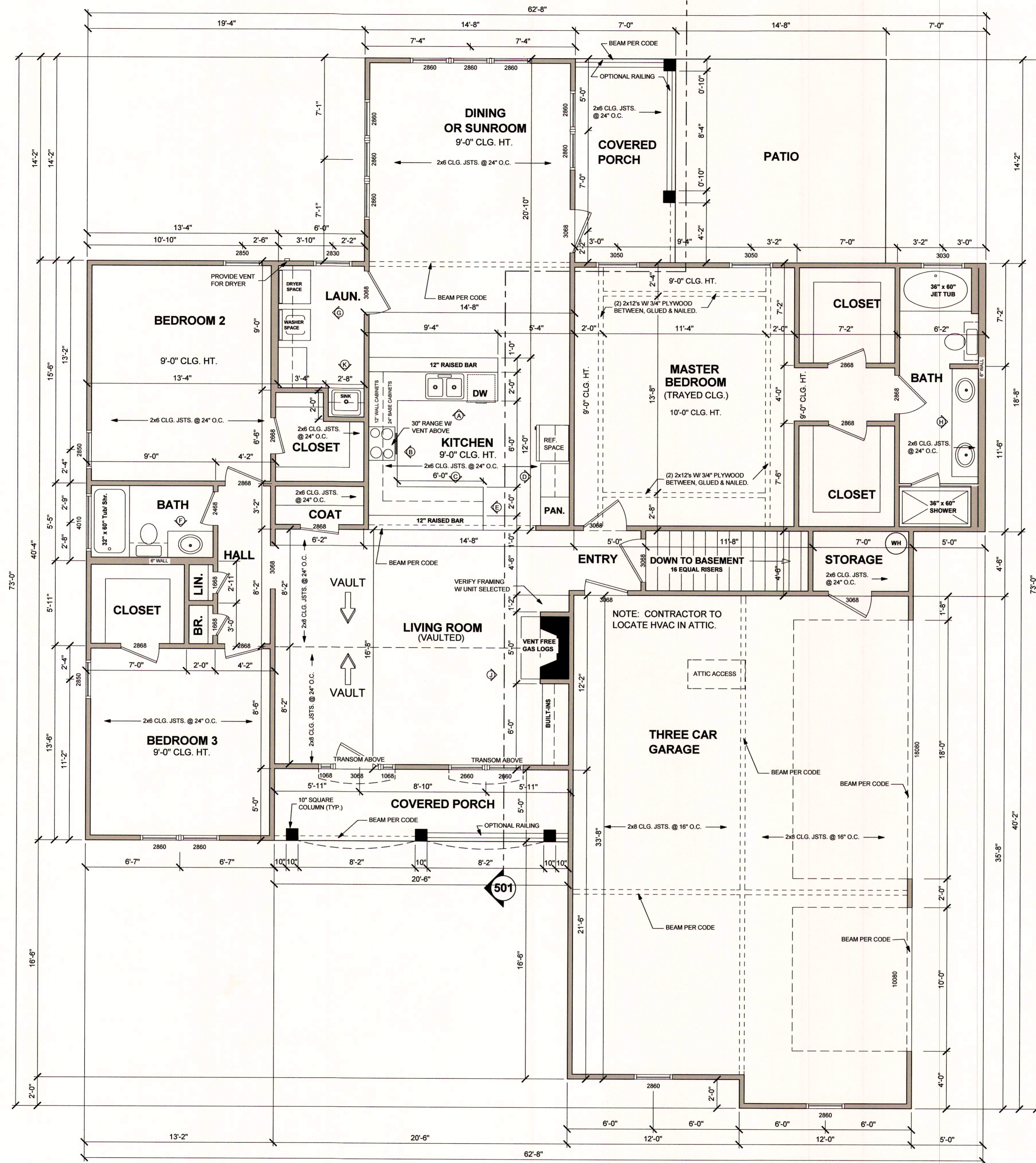
HOUSE PLAN GALLERY, INC.

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DATE: 12/20/04
 DRAWN BY: J.A.B.
 CHECKED BY: G.L.M.
 PLAN NUMBER HPG-1600M
 VIVAS MODIFICATIONS
 SHEET NUMBER 2

PROFESSIONAL MEMBER:

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FLOOR PLAN
 SCALE =====1/4" = 1'-0"
 AREAS: 2033 S.F. (HEATED)
 1114 S.F. (UNHEATED)
 TOTAL: 3147 S.F. (UNDER ROOF)
 MASONRY NOT INCLUDED

- NOTES:
1. CONTRACTOR TO VERIFY ALL DIMENSIONS & EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
 2. DOOR & WINDOW SIZES ARE GIVEN IN FEET AND INCHES IN WIDTH AND HEIGHT RESPECTIVELY. DOOR EXAMPLE: 3068, 3'-0" WIDE BY 6'-8" TALL. WINDOW EXAMPLE: 2840, 2'-8" WIDE BY 4'-0" TALL.
 3. FURTHERMORE, IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY CLEARANCES OF THE AFOREMENTIONED ITEMS PRIOR TO CONSTRUCTION.
 4. REFER TO MANUFACTURERS SPECS FOR ROUGH OPENING DIMENSIONS.
 5. IF HVAC UNIT(S) AND WATER HEATER(S) ARE NOT SHOWN ON FLOOR PLAN, CONTRACTOR TO LOCATE.

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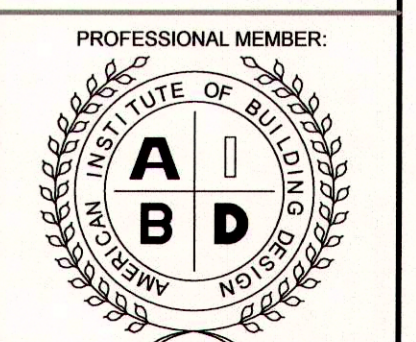
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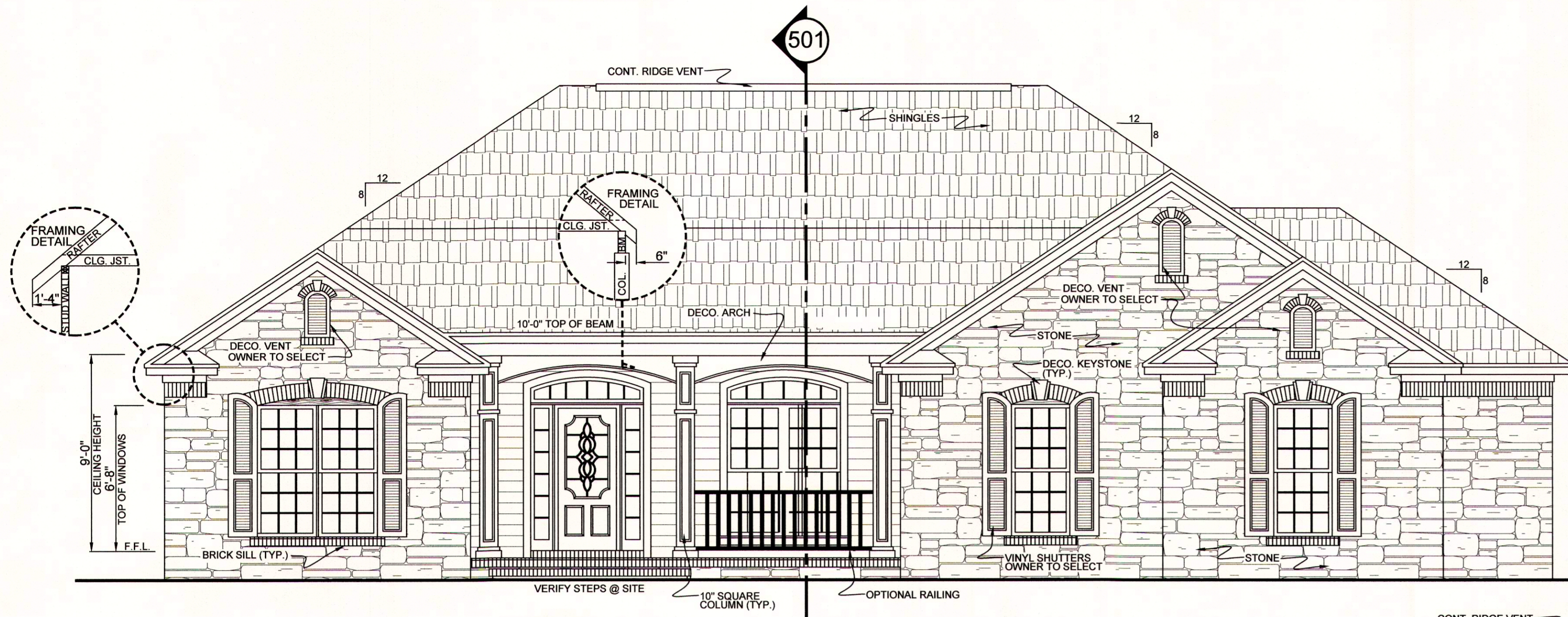
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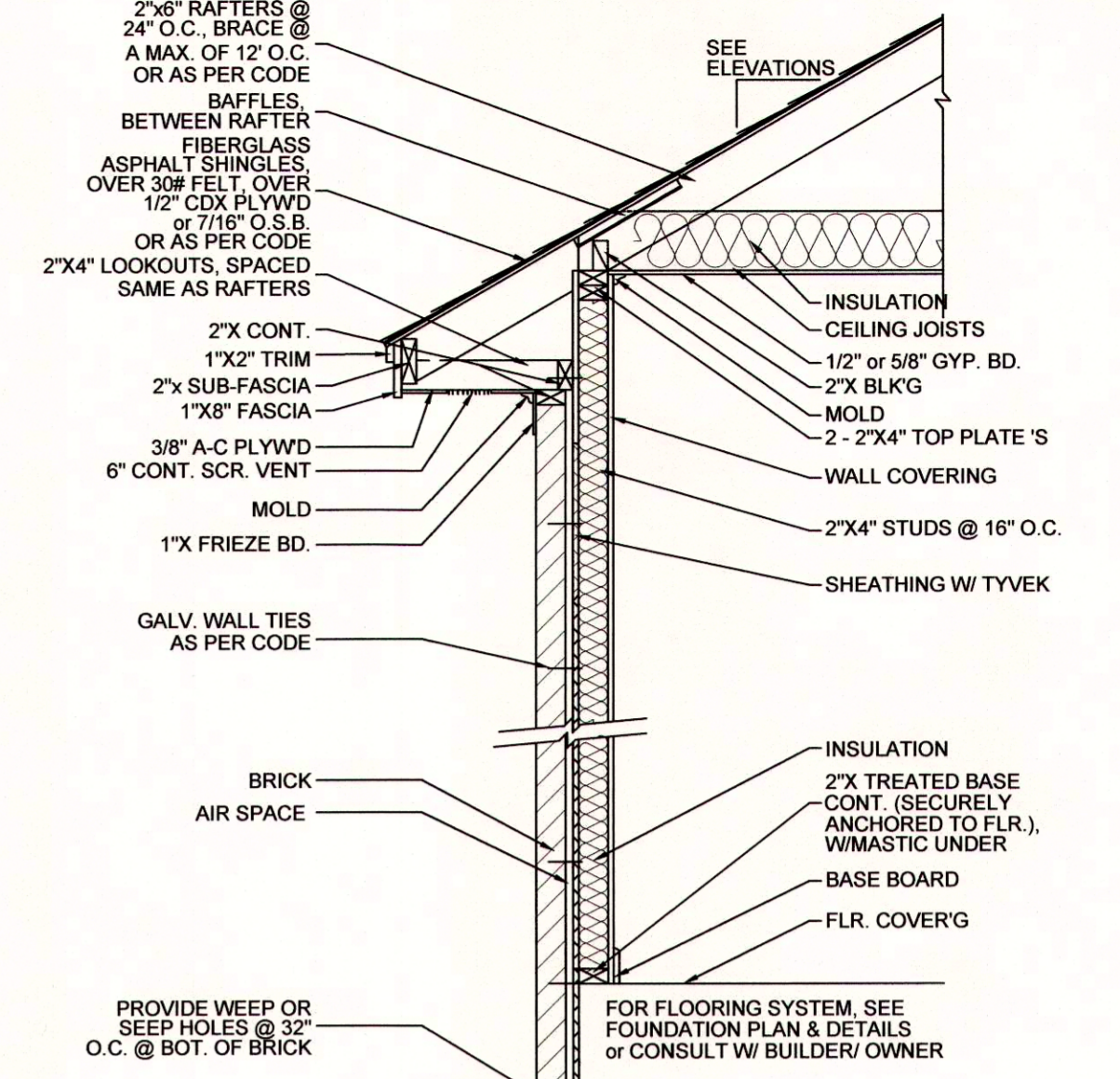




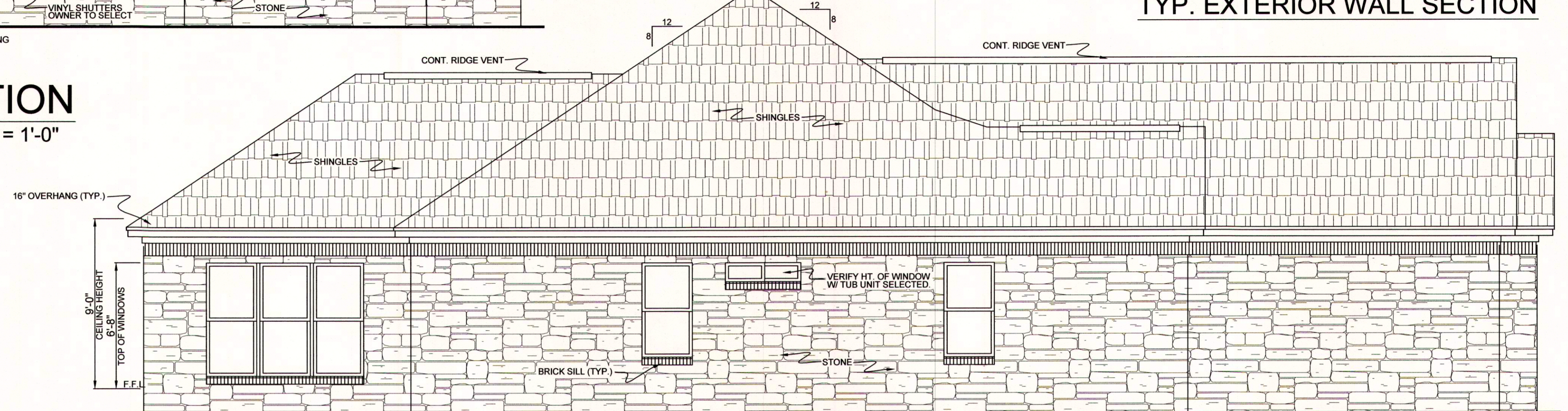
FRONT ELEVATION

SCALE $\frac{1}{4}'' = 1'-0''$

- ELEVATION NOTES:**
1. OWNER TO SELECT ALL DOOR & WINDOW STYLES.
 2. VERIFY ALL STEPS REQUIRED @ SITE.
 3. ALL GROUND LINES ARE APPROX.
 4. VERIFY ALL EXTERIOR MATERIALS W/ OWNER PRIOR TO CONSTRUCTION.
 5. REFER TO TYPICAL WALL FRAMING SECTION FOR FRAMING STYLE.
 6. THOROUGHLY FLASH ALL ROOF INTERSECTIONS.

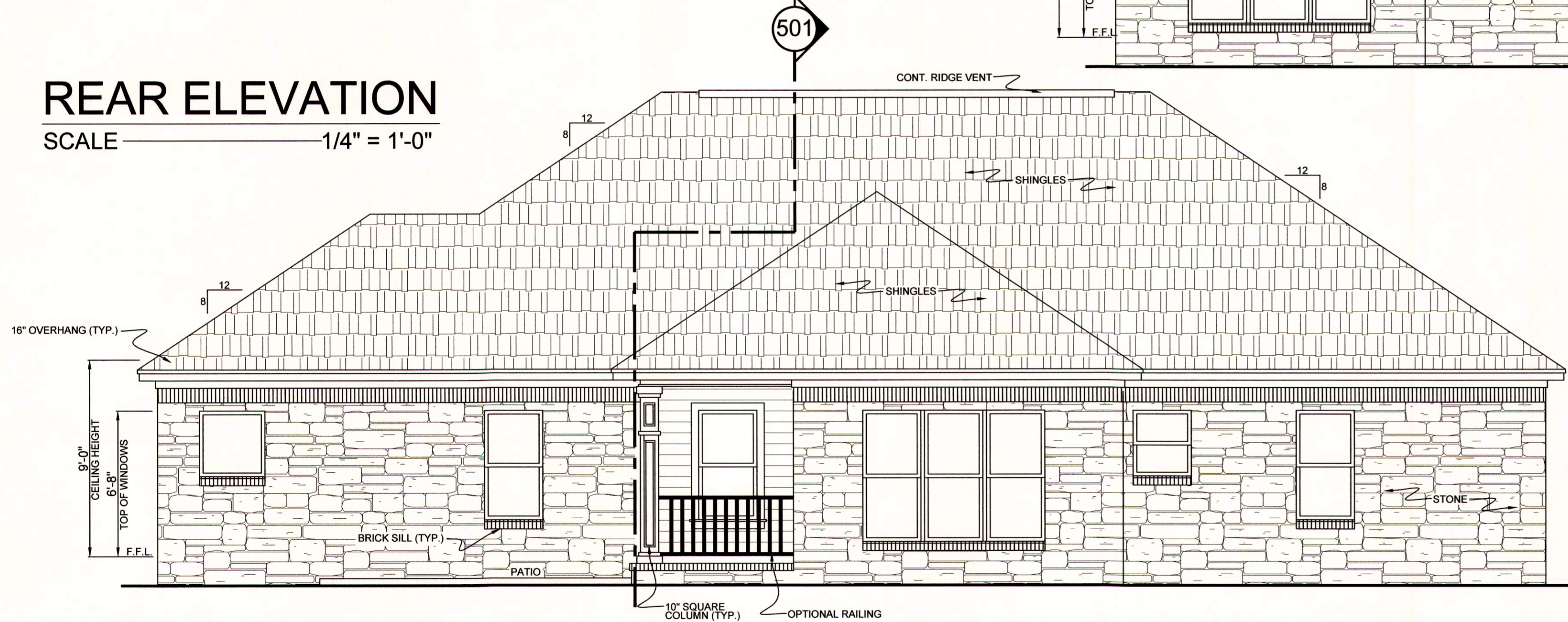


TYP. EXTERIOR WALL SECTION



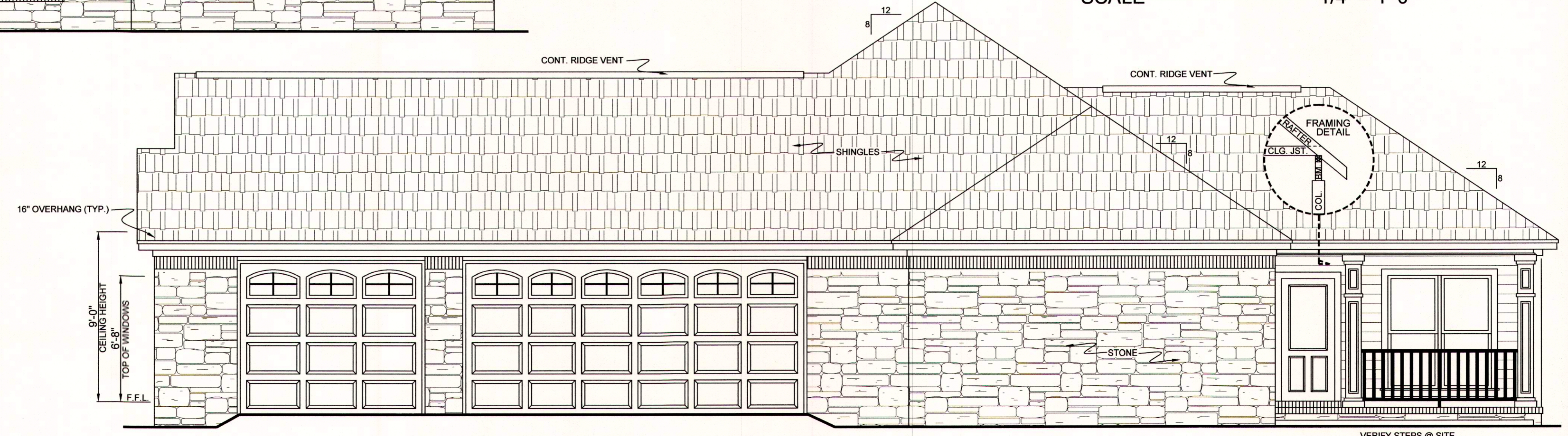
LEFT ELEVATION

SCALE $\frac{1}{4}'' = 1'-0''$



REAR ELEVATION

SCALE $\frac{1}{4}'' = 1'-0''$



RIGHT ELEVATION

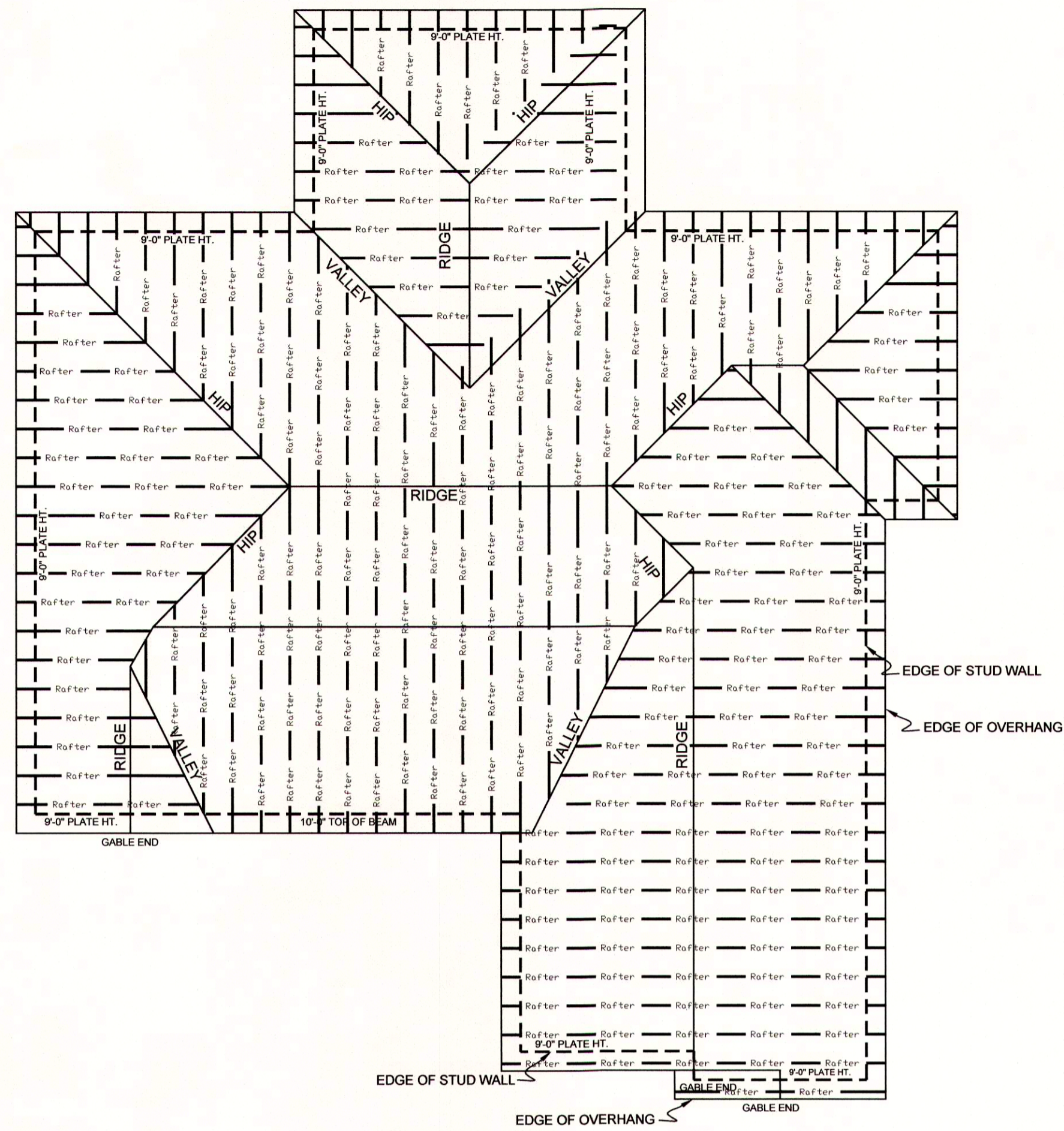
SCALE $\frac{1}{4}'' = 1'-0''$

HOUSE PLAN GALLERY, INC.

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PLAN NUMBER	HPG-1600M
VIVAS MODIFICATIONS	
SHEET NUMBER	4
PROFESSIONAL MEMBER:	

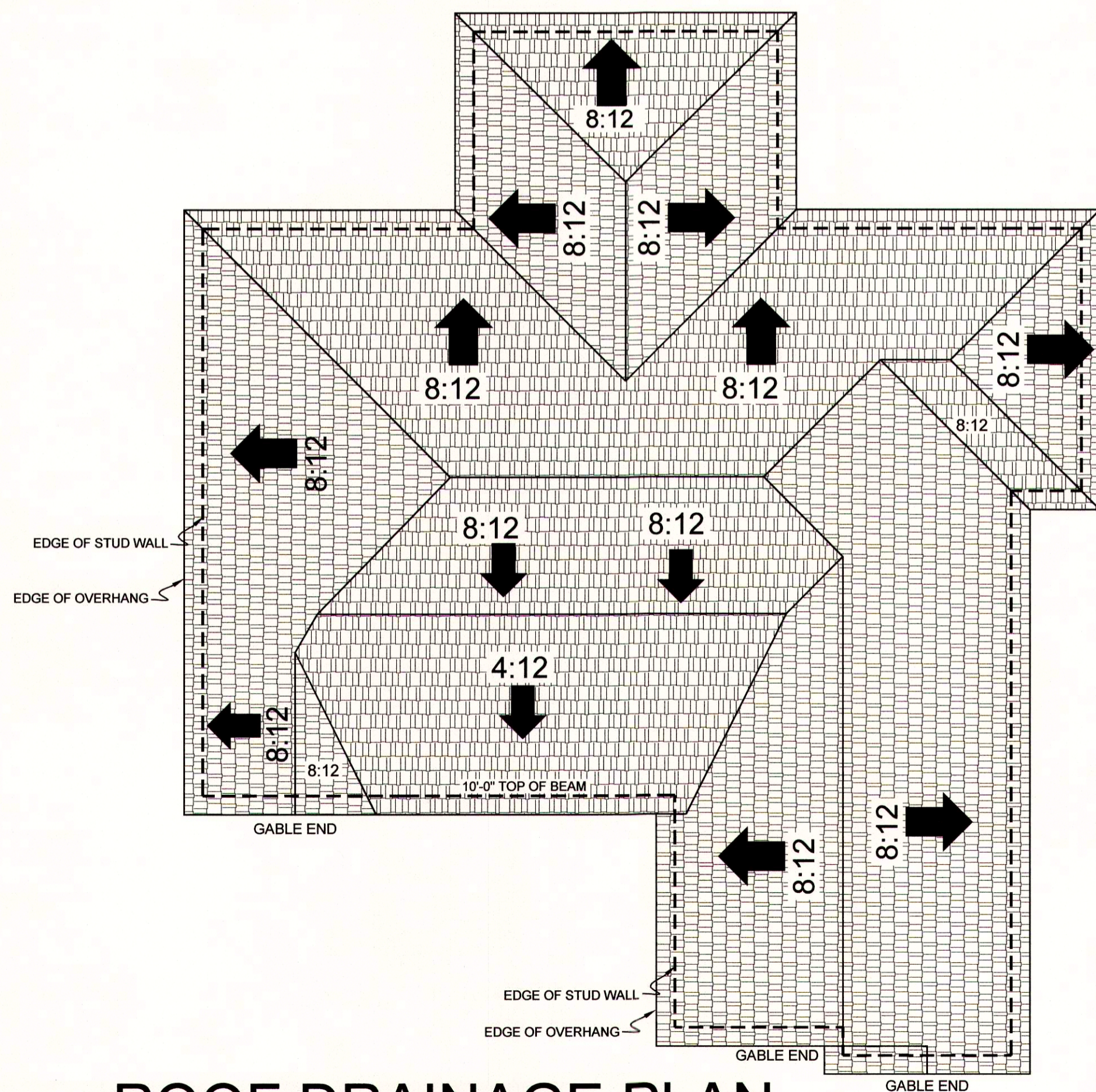
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ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"



ROOF DRAINAGE PLAN

SCALE: 1/8" = 1'-0"

NOTE: SPAN TABLES ARE PROVIDED FOR USE IF STICK FRAMING IS DESIRED BY OWNER/ BUILDER.

FLOOR JOIST SPANS FOR SOUTHERN PINE SPECIES
(RESIDENTIAL LIVING AREAS, LIVE LOAD = 40psf, L/240)
DEAD LOAD = 10psf

SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM FLOOR JOIST SPANS) (FT. - IN.)
2 x 6	12.0	10-8
	15.0	9-8
	19.2	9-2
	24.0	8-6
2 x 8	12.0	14-2
	16.0	12-10
	19.2	12-1
	24.0	11-0
2 x 10	12.0	18-0
	16.0	16-1
	19.2	14-8
	24.0	13-1
2 x 12	12.0	21-9
	16.0	18-10
	19.2	17-2
	24.0	15-5

NOTES:
For additional species, grades, and notes, refer to the International Residential Code. The above tables are based on the 2012 edition, table R502.3.1(2).

NOTE: SPAN TABLES ARE PROVIDED FOR USE IF STICK FRAMING IS DESIRED BY OWNER/ BUILDER.

CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES
(UNINHABITABLE ATTICS WITHOUT STORAGE, LIVE LOAD = 10psf, L/240)
DEAD LOAD = 5psf

IF HABITABLE ATTIC SPACE OF STORAGE IS DESIRED, REFER TO THE INTERNATIONAL RESIDENTIAL CODE. SPAN TABLES.

SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM CEILING JOIST SPANS) (FT. - IN.)
2 x 4	12.0	12-5
	16.0	11-3
	19.2	10-7
	24.0	9-10
2 x 6	12.0	19-8
	16.0	17-8
	19.2	16-8
	24.0	15-6
2 x 8	12.0	25-8
	16.0	23-4
	19.2	21-11
	24.0	20-1
2 x 10	12.0	XXXXX
	16.0	XXXXX
	19.2	XXXXX
	24.0	23-11

NOTES:
For additional species, grades, and notes, refer to the International Residential Code. The above tables are based on the 2012 edition, table R502.4(2).

NOTE: SPAN TABLES ARE PROVIDED FOR USE IF STICK FRAMING IS DESIRED BY OWNER/ BUILDER.

RAFTER SPANS FOR SOUTHERN PINE SPECIES
(GROUND SNOW LOAD = 30psf, CEILING ATTACHED TO RAFTERS, L/240)
DEAD LOAD = 10psf

SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM RAFTER SPAN BETWEEN BRACKING) (FT. - IN.)
2 x 4	12.0	9-6
	16.0	8-7
	19.2	7-11
	24.0	7-1
2 x 6	12.0	14-5
	16.0	12-6
	19.2	11-5
	24.0	10-2
2 x 8	12.0	18-8
	16.0	16-2
	19.2	14-9
	24.0	13-2
2 x 10	12.0	22-3
	16.0	19-3
	19.2	17-7
	24.0	15-9
2 x 12	12.0	XXXXX
	16.0	23-7
	19.2	20-7
	24.0	18-5

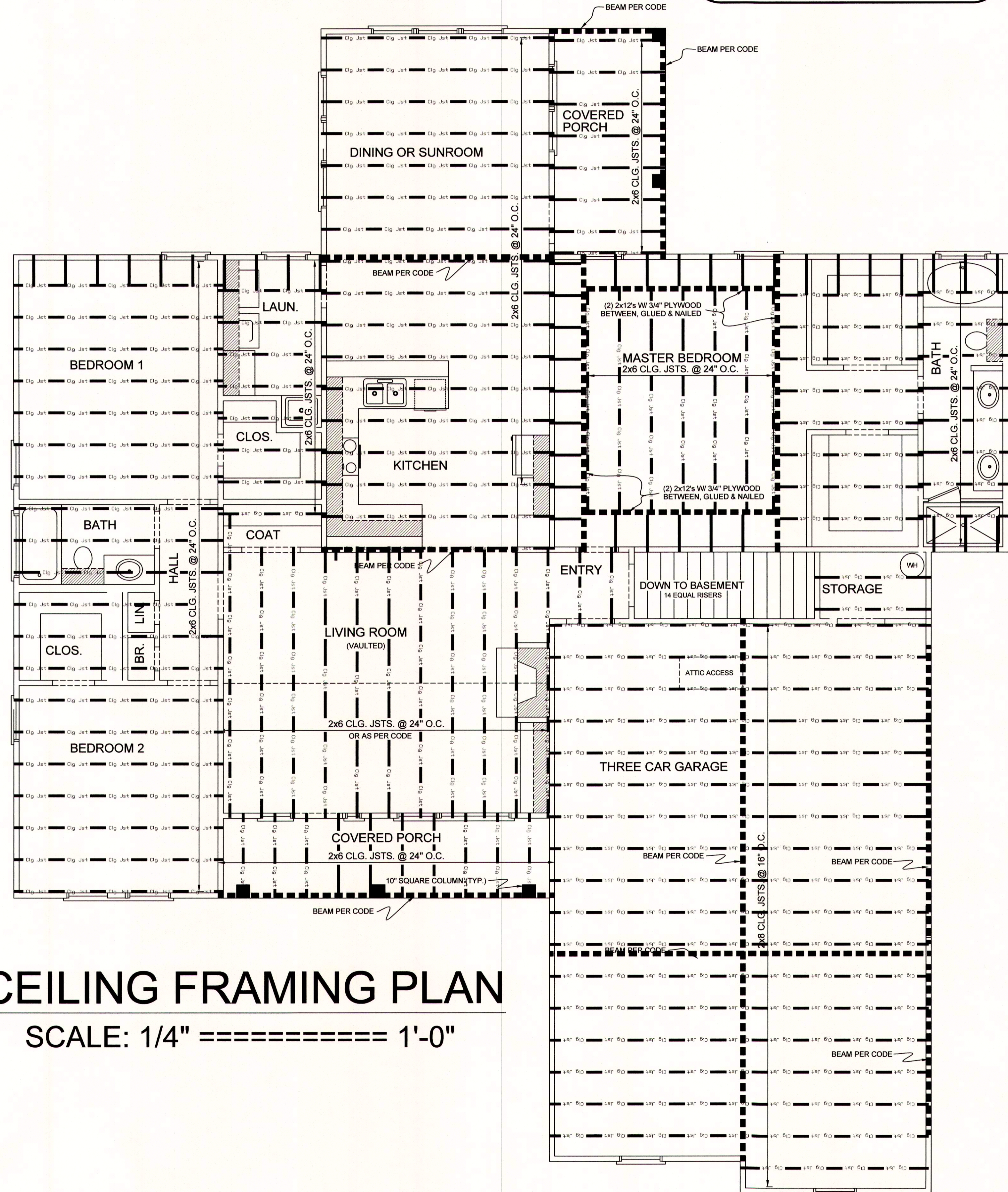
NOTES:
For additional species, grades, and notes, refer to the International Residential Code. The above tables are based on the 2012 edition, table R502.5.1(3).

ROOF DRAINAGE NOTES:

1. ALL ROOF PITCHES TO BE VERIFIED WITH EXTERIOR ELEVATIONS.
2. PROVIDE ALL FLASHING NECESSARY FOR WATERPROOFING.
3. ALL OVERHANGS ARE TO BE 1'-4" FROM FACE OF STUD UNLESS OTHERWISE NOTED.

CEILING FRAMING NOTES:

1. CONTRACTOR TO PROVIDE 2"x BLOCKING BETWEEN ALL CEILING JOISTS.
2. ALL LUMBER TO BE #2 S.Y.P. OR GREATER.
3. CONTRACTOR TO VERIFY ALL LUMBER SIZES AND SPACING TO MEET ALL LOCAL AND NATIONAL CODES APPLICABLE @ SITE.
4. ALL CEILING JOISTS SIZED TO MEET "SOUTHERN PINE COUNCIL" 2003 EDITION. ALL CEILING JOISTS ARE SIZED TO: 20 PSF (LIVE LOAD), 10 PSF (DEAD LOAD), WITH L/240 DEFLECTION.
5. ALL SITE BUILT BEAMS TO HAVE 3/4" PLYWOOD BETWEEN EACH 2"x, GLUED AND NAILED UNLESS OTHERWISE NOTED.
6. ALL CEILING JOISTS ARE 2"x6" SHOWN AT 24" O.C. UNLESS OTHERWISE NOTED.
7. ALL BEAM SIZES AND LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER.



CEILING FRAMING PLAN

SCALE: 1/4" = 1'-0"

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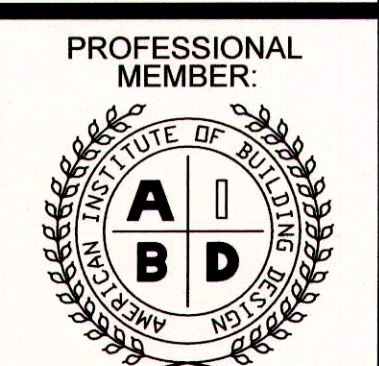
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CEILING FRAMING
&
ROOF FRAMING

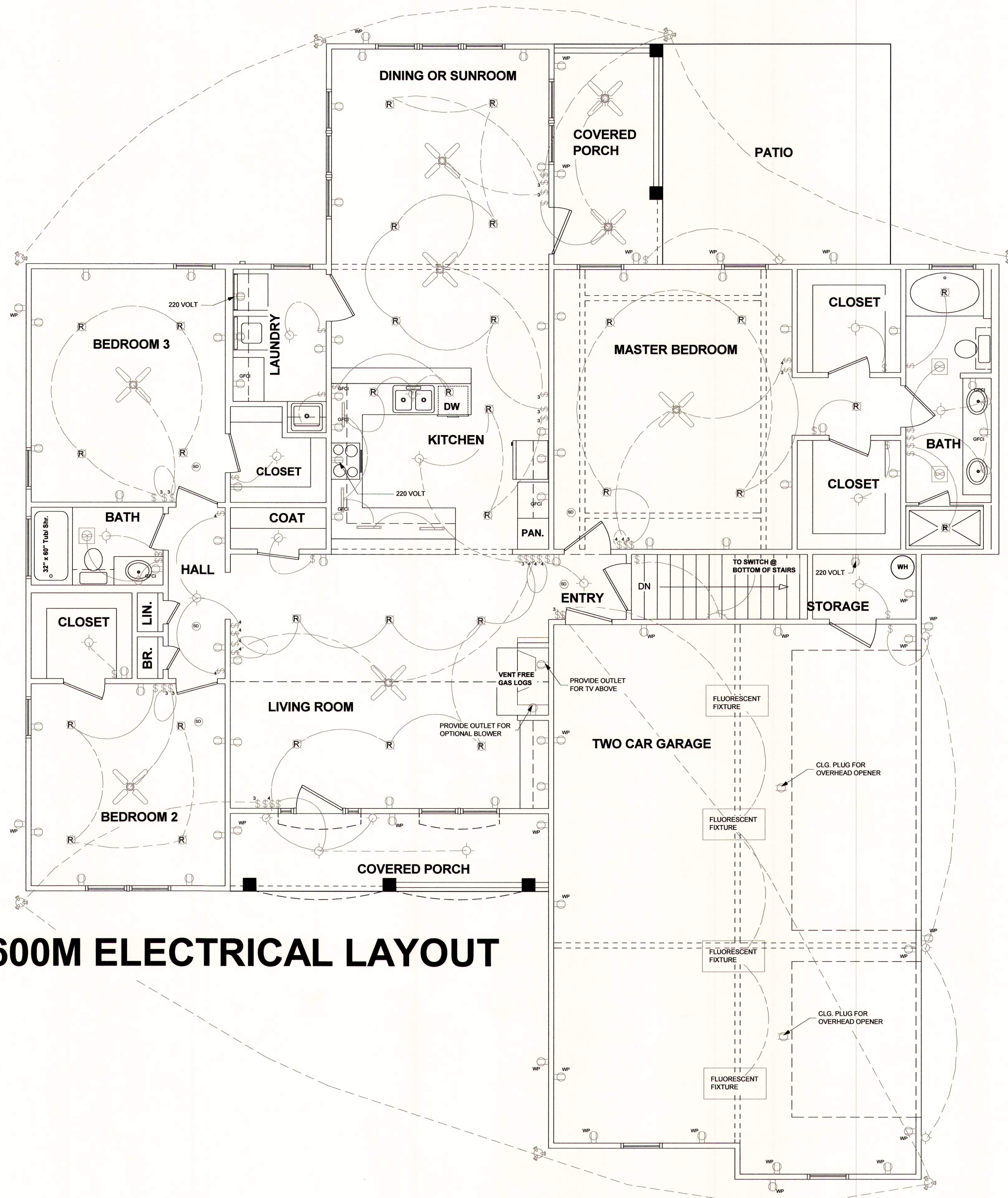
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ELECTRICAL SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
	110 VOLT OUTLET
	GROUND FAULT PROTECTED OUTLET
	WEATHERPROOF OUTLET
	220 VOLT RECEPTACLE
	FLOOR OUTLET
	CEILING HUNG FIXTURE
	OVERHANG MOUNTED FLOODLIGHTS
	RECESSED CEILING FIXTURE
	FLUORESCENT LIGHT
	CARBON MONOXIDE/ SMOKE DETECTOR
	SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	TELEPHONE OUTLET
	TELEVISION OUTLET
	DOORBELL BUTTON
	THERMOSTAT
	CEILING EXHAUST FAN
	EMERGENCY EXIT SIGN & LIGHT
	CEILING EXHAUST FAN W/ LIGHT
	TRACK LIGHTING
	WALL SCENCE

ELECTRICAL CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS & MAKE ANY NECESSARY ADJUSTMENTS.
 ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE & ANY OTHER APPLICABLE REGULATIONS OR CODES.
 ELECTRICAL CONTRACTOR SHALL VERIFY ALL ELECTRICAL REQUIREMENTS AND CONNECTIONS, ADJUST AS NEEDED TO COMPLY PLAN W/ CODE AND MANUF. SPECS.



HPG-1600M ELECTRICAL LAYOUT

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VIVAS MODIFICATIONS
SHEET NUMBER 7

