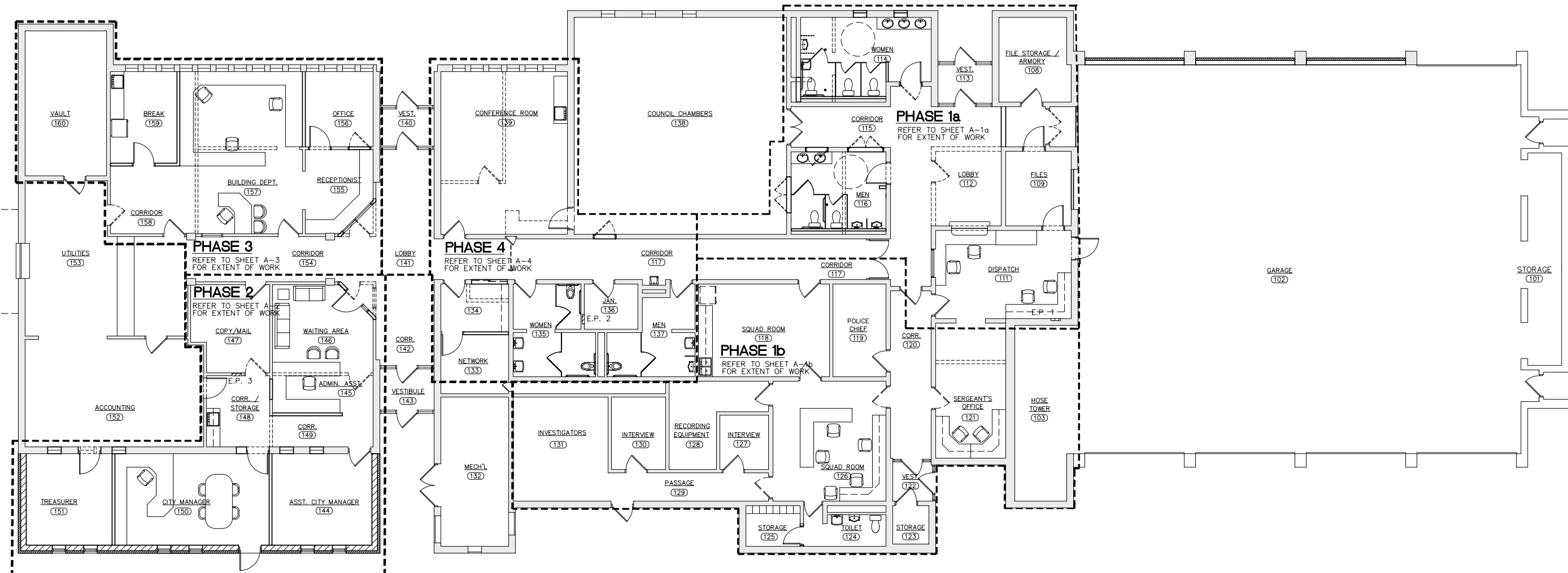


GENERAL NOTES:

- GENERAL NOTES APPLY TO ALL TRADES WORKING ON THE PROJECT.
- DO NOT SCALE DRAWINGS.
- VERIFY ALL DIMENSIONS AND REQUIRED CLEARANCES BETWEEN EXISTING CONDITIONS AND SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
- CONDUCT OPERATIONS SO AS TO PERMIT PUBLIC ACCESS TO THE EXISTING BUILDINGS, WALKS DRIVEWAYS AND ENTRANCES TO BE USED BY THE PUBLIC SHALL BE MAINTAINED IN A SAFE CONDITION AND SHALL BE KEPT FREE AND CLEAR OF THE CONTRACTOR'S EQUIPMENT, MATERIALS AND DEBRIS.
- THE DRAWINGS SHOW EXISTING CONDITIONS AS ACCURATE AS POSSIBLE BASED ON AVAILABLE INFORMATION. CONTRACTOR(S) SHALL FIELD VERIFY ALL DIMENSIONS, LOCATIONS, UTILITIES, EQUIPMENT, ETC.. PRIOR TO START OF NEW CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR(S) SHALL COOPERATE WITH THE OWNER IN THE SCHEDULING AND EXECUTION OF THE WORK AND USE OF THE SITE. CONTRACTOR(S) SHALL NOTIFY THE OWNER/ARCHITECT A MINIMUM OF 48 HOURS BEFORE COMMENCEMENT OF ANY WORK OR OPERATION WHICH WOULD INTERFERE WITH THE USE OF THE EXISTING BUILDING.
- CONTRACTOR'S OPERATION AND STORAGE OF MATERIALS SHALL BE CONFIRMED THE THE MINIMUM AREA(S) OF THE SITE NECESSARY TO ACCOMPLISH THE WORK. THE LOCATION OF THE AREA(S) SHALL BE APPROVED BY THE OWNER.
- CONTRACTOR(S) SHALL EXERCISE ALL REASONABLE PRECAUTIONS FOR THE PROTECTION OF PERSONS AND PROPERTY ON THE SITE. SAFETY PROVISIONS OF APPLICABLE LAWS AND BUILDING AND CONSTRUCTION CODES SHALL BE OBSERVED.
- CONTRACTOR(S) SHALL PROTECT THEIR WORK, THE WORK OF OTHER AND EXISTING WORK SHOWN TO REMAIN. DO NOT DAMAGE MATERIALS SHOWN TO REMAIN IN PLACE. ANY WORK DAMAGED BY CONTRACTOR(S) SHALL BE RETURNED TO THE CONDITION PRIOR TO DAMAGE AND EQUAL TO ADJACENT SURFACES.
- EXISTING EMERGENCY EGRESS SHALL BE MAINTAINED IN ALL SITUATIONS.
- SECURITY SHALL BE MAINTAINED IN ALL SITUATIONS. MAKE PROVISIONS SO THAT THE NORMAL FUNCTIONS OF THE BUILDING CAN BE MAINTAINED THROUGH THE DEMOLITION, REMODELING, AND NEW CONSTRUCTION PERIOD.
- CONTRACTOR SHALL PROVIDE TEMPORARY DUST PROOF ENCLOSURES, DUST BARRIERS, COVERED WALKWAYS AND/OR BARRICADES AS REQUIRED TO PROTECT THE PUBLIC, OCCUPANTS AND EXISTING FACILITIES DURING DEMOLITION AND NEW CONSTRUCTION OPERATIONS. CORRIDORS, PASSAGEWAYS AND EMERGENCY EXITS MUST BE KEPT OPEN AND FREE FOR USE AND ACCESS BY OWNER AND THE PUBLIC.
- CONTRACTOR SHALL SEAL ALL PENETRATIONS THROUGH FLOORS, CEILINGS, FIREPROOFING, PERMANENT PARTITIONS, FIRE WALLS AND OTHER FIRE RESISTIVE OR SMOKE CONTROL CONSTRUCTION. CONTRACTOR SHALL SEAL PENETRATIONS SMOKE TIGHT. METAL TRIM OR ESCUTCHEONS ALONE SHALL NOT BE ACCEPTABLE.



LEXINGTON MUNICIPAL BUILDING
OVERALL FLOOR PLAN
LEXINGTON, NEBRASKA

VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING
 0" = 1"
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

SCALE:	
PROJECT NO.	127-G1-098
DATE:	OCTOBER 2008
FIELD BOOK	N/A
M&A DWG NO.	
DRAWN BY:	APRV'D BY:
SHEET	OF
A-0	

NORTH
OVERALL FLOOR PLAN - PHASING PLAN
 SCALE: 1/8" = 1'-0"

OCT 17, 2008 09:26:22 Location: G:\Projects\127\127-G1-098\Plan\00-OverallPlan.dwg

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PHASE 1 - ROOM FINISH SCHEDULE														
ROOM NO.	ROOM DESIGNATION	FLOOR	BASE	WALLS	WALLS				CEILING	PAINTED BY OWNER EXPOSED STRUCTURE	CEILING HEIGHT	REMARKS		
					NORTH	SOUTH	EAST	WEST						
102	GARAGE	*								8'-0"	X			
104	TRAINING AREA													
105	SHOWER ROOM													
106	SHOWER ROOM													
107	LOCKERS													
108	FILE STORAGE & ARMORY													
109	FILES													
110	CORRIDOR													
111	DISPATCH													
112	LOBBY													
113	VESTIBULE													
114	WOMEN													
115	CORRIDOR													
116	MEN													
117	CORRIDOR													
118	SQUAD ROOM													
119	POLICE CHIEF													
124	TOILET													
125	STORAGE													
126	SQUAD ROOM													
129	PASSAGE													
131	INVESTIGATORS													
200	EVIDENCE													

GENERAL DEMOLITION NOTES

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 DOORS, WIRING, ELECTRICAL FIXTURES, GALVANIZED AND COPPER
 PIPING AND MECHANICAL EQUIPMENT. TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE IMMEDIATELY.

DEMOLITION NOTES (KEYED TO PLAN)

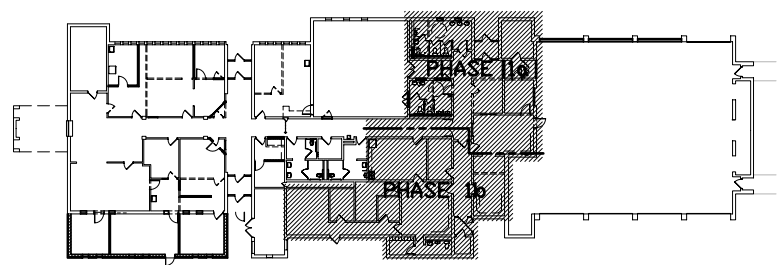
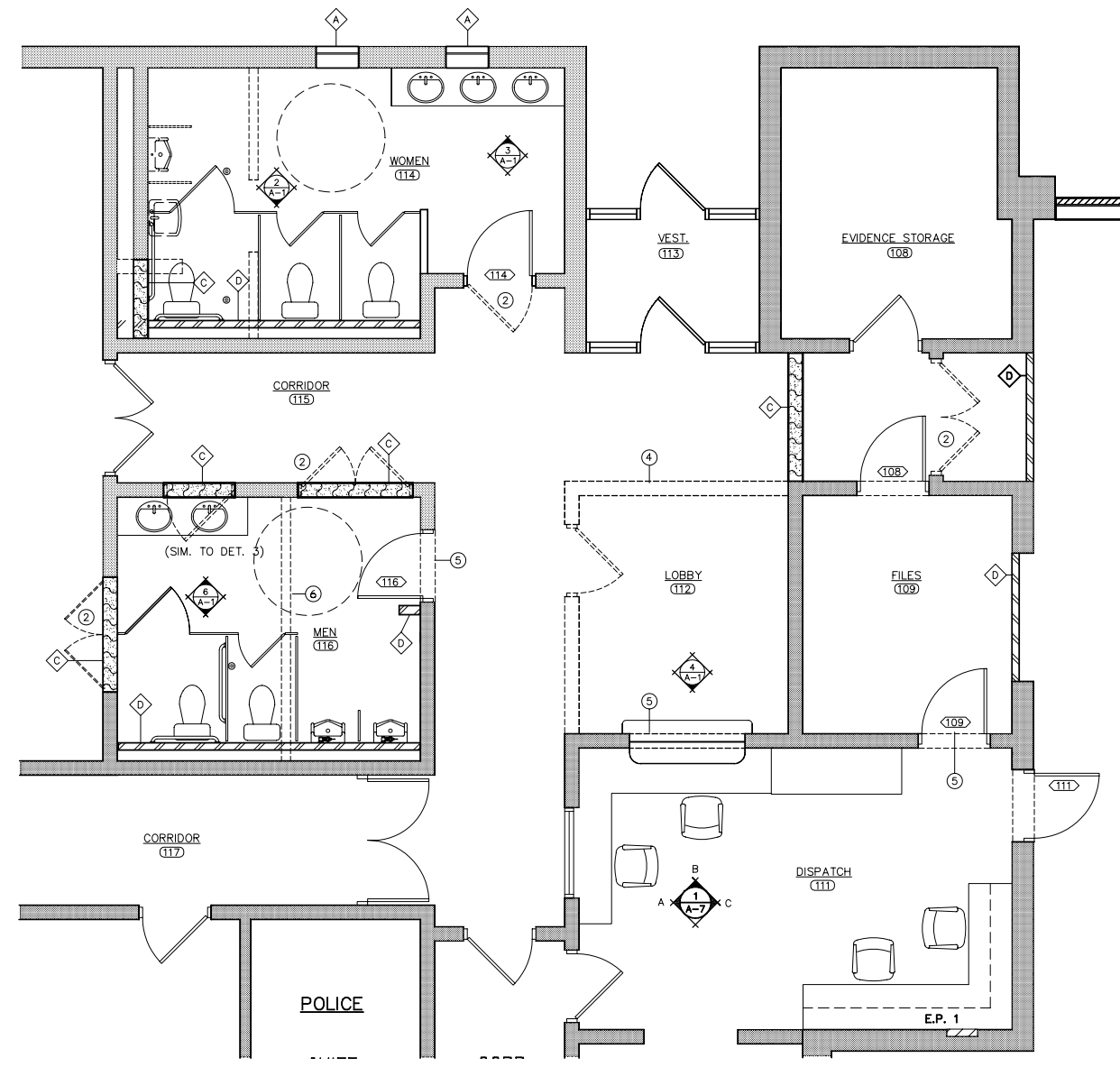
- REMOVE CEILING, METAL STUD AND GPW WALL SYSTEM AS SHOWN. PATCH AND REPAIR ADJACENT WALLS AND FLOOR. PREPARE SURFACES FOR NEW FINISH. REFER TO FINISH SCHEDULE.
- REMOVE DOOR, FRAME AND HARDWARE COMPLETELY. IN-FILL OPENING WITH NEW 8" CMU.
- REMOVE OVERHEAD DOOR, FRAME AND CONCRETE AT OPENINGS - SEE FLOOR PLAN A-1. REMOVE EXISTING GRANULAR FILL UNDER OVERHEAD DOOR TO HAVE INFILL - SEE DETAIL 1 SHEET A-7.
- REMOVE EXISTING CMU WALL.
- REMOVE PARTIAL CMU WALL FOR OPENINGS.
- REMOVE EXISTING WALL.

WALL TYPES

- A** IN-FILL EXISTING OPENING WITH 8" CMU AND FACE BRICK TO MATCH EXISTING - AFTER EXISTING WINDOW & FRAME IS REMOVED - REFER TO DETAIL X, A-7.
- B** IN-FILL EXISTING OPENING WITH 8" CMU AND FACE BRICK TO MATCH EXISTING - AFTER OVERHEAD DOOR AND FRAME IS REMOVED - REFER TO DETAIL 1, A-7.
- C** IN-FILL EXISTING OPENING WITH 8" CMU - AFTER EXISTING DOOR & FRAME IS REMOVED - REFER TO DETAIL X, A-7.
- D** 3 5/8" METAL STUDS AT 16" O.C., 5/8" TYPE "X" GYPSUM WALL BOARD (G.W.B.) EACH SIDE. EXTEND TO BOTTOM OF EXISTING ROOF.
- E** 3 5/8" METAL STUDS AT 16" O.C. WITH 3 1/2" SOUND ATTENUATION BLANKET, 5/8" TYPE "X" GYPSUM BOARD (G.W.B.) ONE SIDE, EXTEND WALL TO BOTTOM OF ROOF.

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- NEW CMU
- NEW GWB PARTITION
- EXISTING DOOR TO REMAIN
- EXISTING DOOR & FRAME TO BE REMOVED
- NEW DOOR & FRAME
- DOOR DESIGNATION



PHASE 1a - FLOOR PLAN
 SCALE: 1/8" = 1'-0"

KEY PLAN
 NO SCALE

REVISIONS BY

M&A
 Miller & Associates
 Consulting Engineers, P.C.
 Kearney, NE (308) 234-6456
 McCook, NE (308) 345-3710

LEXINGTON MUNICIPAL BUILDING
PHASE 1a - FLOOR PLAN
 LEXINGTON, NEBRASKA

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VERIFY SCALES

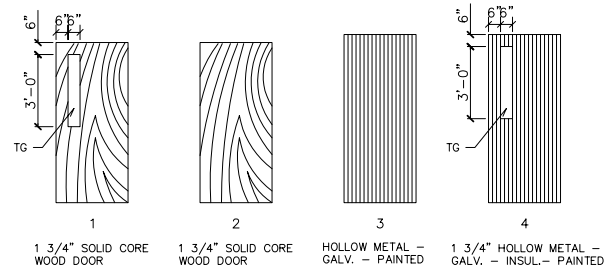
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IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

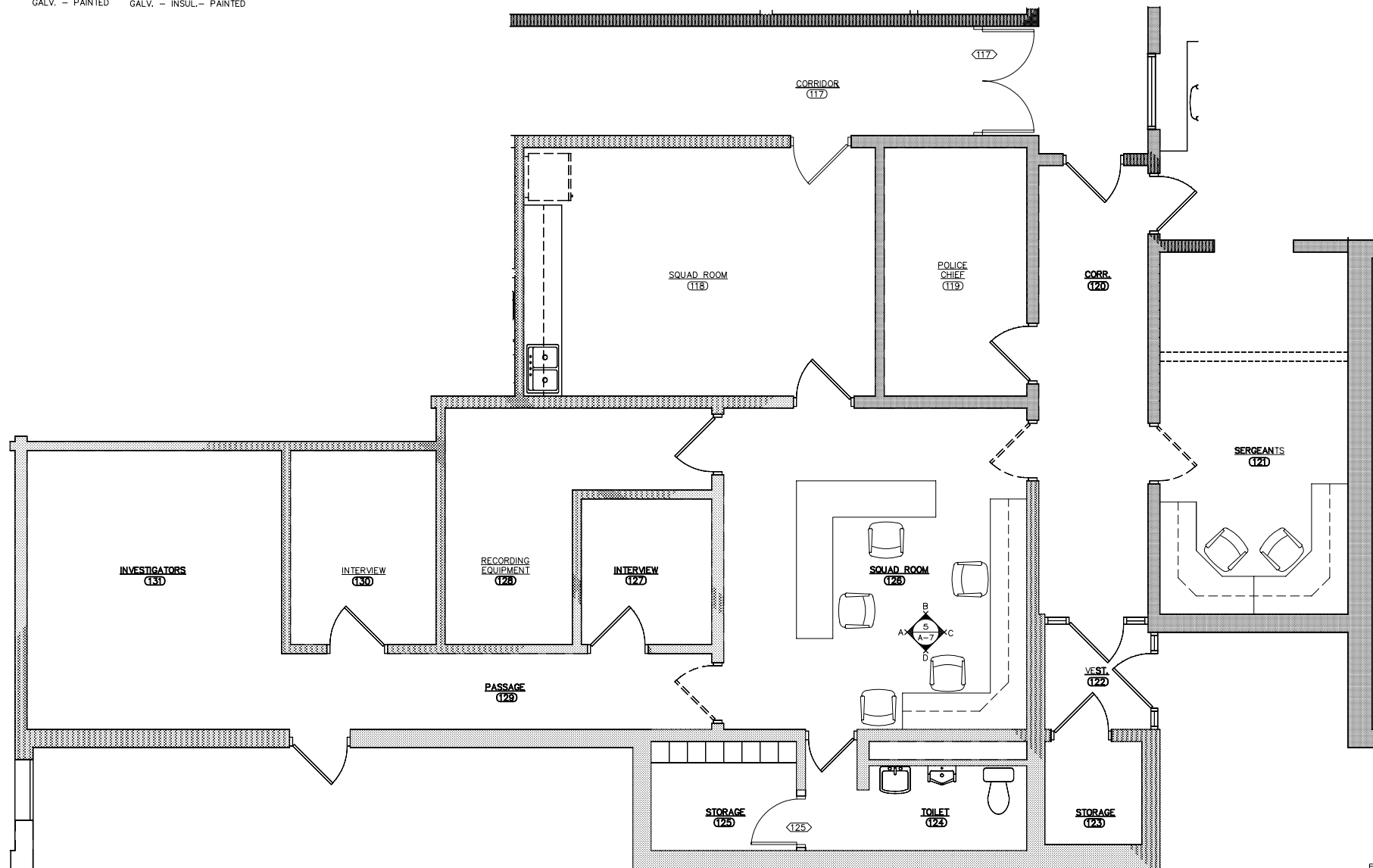
SCALE:	AS NOTED
PROJECT NO.:	127-G1-098
DATE:	AUGUST 2007
FIELD BOOK:	N/A
M&A DWG NO.:	
DRAWN BY:	APRVD BY:
SHEET:	OF

A-1a

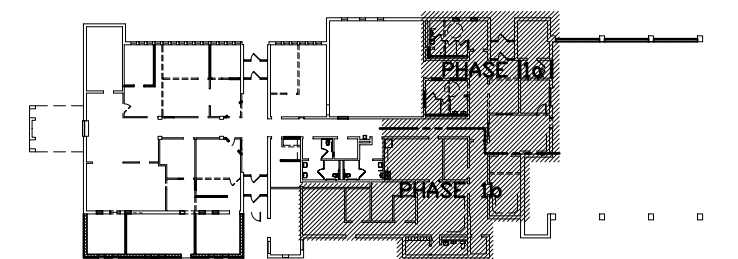
PHASE 1 - DOOR SCHEDULE									
MARK	TYPE	WIDTH	HEIGHT	THICKN'S	FRAME	LABEL	HDWR.	REMARKS	
104	1	3'-0"	7'-0"	1 3/4"	AL	---	1	DETAIL 1, 2, 3	
105		3'-0"	7'-0"	1 3/4"					
106		3'-0"	7'-0"	1 3/4"					
108		3'-0"	7'-0"	1 3/4"					
109		3'-0"	7'-0"	1 3/4"					
110		3'-0"	7'-0"	1 3/4"					
111		3'-0"	7'-0"	1 3/4"					
114		3'-0"	7'-0"	1 3/4"					
116		3'-0"	7'-0"	1 3/4"					
117		3'-0"	7'-0"	1 3/4"					
125		3'-0"	7'-0"	1 3/4"					



DOOR TYPES
SCALE: 1/4" = 1'-0"



PHASE 1b - FLOOR PLAN
SCALE: 1/8" = 1'-0"



KEY PLAN
NO SCALE

GENERAL DEMOLITION NOTES

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PIPING AND MECHANICAL EQUIPMENT. TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE IMMEDIATELY.

DEMOLITION NOTES (KEYED TO PLAN)

- REMOVE CEILING, METAL STUD AND GPDW WALL SYSTEM AS SHOWN. PATCH AND REPAIR ADJACENT WALLS AND FLOOR. PREPARE SURFACES FOR NEW FINISH. REFER TO FINISH SCHEDULE.
- REMOVE DOOR, FRAME AND HARDWARE COMPLETELY. IN-FILL OPENING WITH NEW 8" CMU.
- REMOVE OVERHEAD DOOR, FRAME AND CONCRETE AT OPENINGS - SEE FLOOR PLAN A-1. REMOVE EXISTING GRANULAR FILL UNDER OVERHEAD DOOR TO HAVE INFILL - SEE DETAIL 1 SHEET A-7.
- REMOVE EXISTING CMU WALL.
- REMOVE PARTIAL CMU WALL FOR OPENINGS.
- REMOVE EXISTING WALL.

WALL TYPES

- A IN-FILL EXISTING OPENING WITH 8" CMU AND FACE BRICK TO MATCH EXISTING - AFTER EXISTING WINDOW & FRAME IS REMOVED - REFER TO DETAIL X, A-7.
- B IN-FILL EXISTING OPENING WITH 8" CMU AND FACE BRICK TO MATCH EXISTING - AFTER OVERHEAD DOOR AND FRAME IS REMOVED - REFER TO DETAIL 1, A-7.
- C IN-FILL EXISTING OPENING WITH 8" CMU - AFTER EXISTING DOOR & FRAME IS REMOVED - REFER TO DETAIL X, A-7.
- D 3 5/8" METAL STUDS AT 16" O.C., 5/8" TYPE "X" GYPSUM WALL BOARD (G.W.B.) EACH SIDE. EXTEND TO BOTTOM OF EXISTING ROOF.
- E 3 5/8" METAL STUDS AT 16" O.C. WITH 3 1/2" SOUND ATTENUATION BLANKET, 5/8" TYPE "X" GYPSUM BOARD (G.W.B.) ONE SIDE, EXTEND WALL TO BOTTOM OF ROOF.

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- NEW CMU
- NEW GWB PARTITION
- EXISTING DOOR TO REMAIN
- EXISTING DOOR & FRAME TO BE REMOVED
- NEW DOOR & FRAME
- DOOR DESIGNATION

REVISIONS	BY

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Consulting Engineers, P.C.
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McCook, NE (308) 345-3710

LEXINGTON MUNICIPAL BUILDING
PHASE 1b - FLOOR PLAN
LEXINGTON, NEBRASKA

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VERIFY SCALES
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SCALE: AS NOTED
PROJECT NO. 127-G1-098
DATE: AUGUST 2007
FIELD BOOK N/A
DRAWN BY: M&A DWG NO. APRVD BY:
SHEET **A-1b** OF

OCT 14, 2008 • 12:07:23 Location: G:\Projects\127\127-G1-098\Drawn\DWG-10-15-2008\A-1b\FloorPlan.dwg

PHASE 2 - ROOM FINISH SCHEDULE											
ROOM NO.	ROOM DESIGNATION	FLOOR	BASE	WALL SCOT	WALLS				CEILING	REMARKS	
					NORTH	SOUTH	EAST	WEST			
144	ASSISTANT CITY MANAGER				PAINTED	PAINTED	PAINTED	PAINTED	8'-0" X		
145	ADMINISTRATION ASSISTANT				PAINTED	PAINTED	PAINTED	PAINTED			
146	WAITING AREA				PAINTED	PAINTED	PAINTED	PAINTED			
147	COPY / MAIL				PAINTED	PAINTED	PAINTED	PAINTED			
148	CORRIDOR / STORAGE				PAINTED	PAINTED	PAINTED	PAINTED			
149	CORRIDOR				PAINTED	PAINTED	PAINTED	PAINTED			
150	CITY MANAGER				PAINTED	PAINTED	PAINTED	PAINTED			
151	TREASURER				PAINTED	PAINTED	PAINTED	PAINTED			

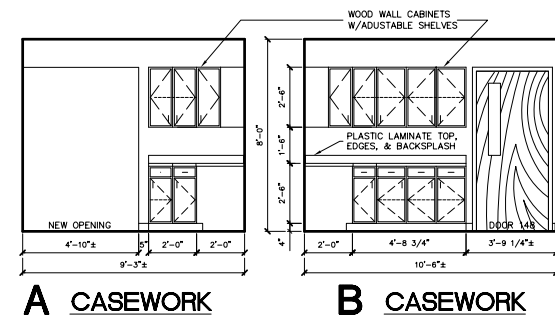
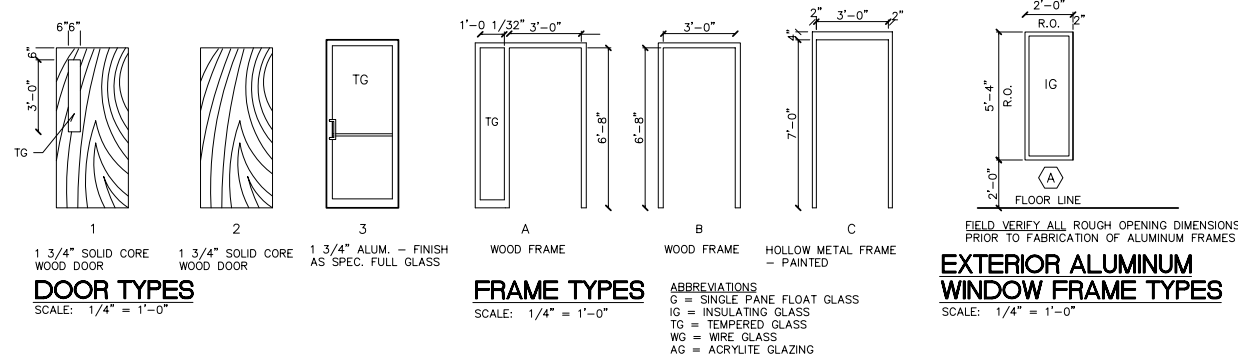
PHASE 2 - DOOR SCHEDULE											
MARK	TYPE	WIDTH	HEIGHT	THICKN'S	FRAME	LABEL	HDWR.	DETAIL	REMARKS		
146	4	3'-0"	7'-0"	1 3/4"	AL #1	----	1	DETAIL 1, 2, 3			
148		3'-0"	7'-0"	1 3/4"							
149		3'-0"	7'-0"	1 3/4"							
150		3'-0"	7'-0"	1 3/4"							
151		3'-0"	7'-0"	1 3/4"							

GENERAL DEMOLITION NOTES

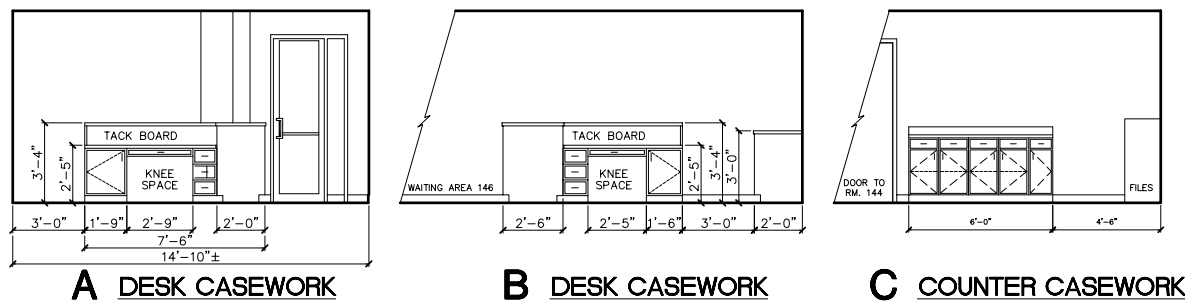
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DEMOLITION NOTES (KEYED TO PLAN)

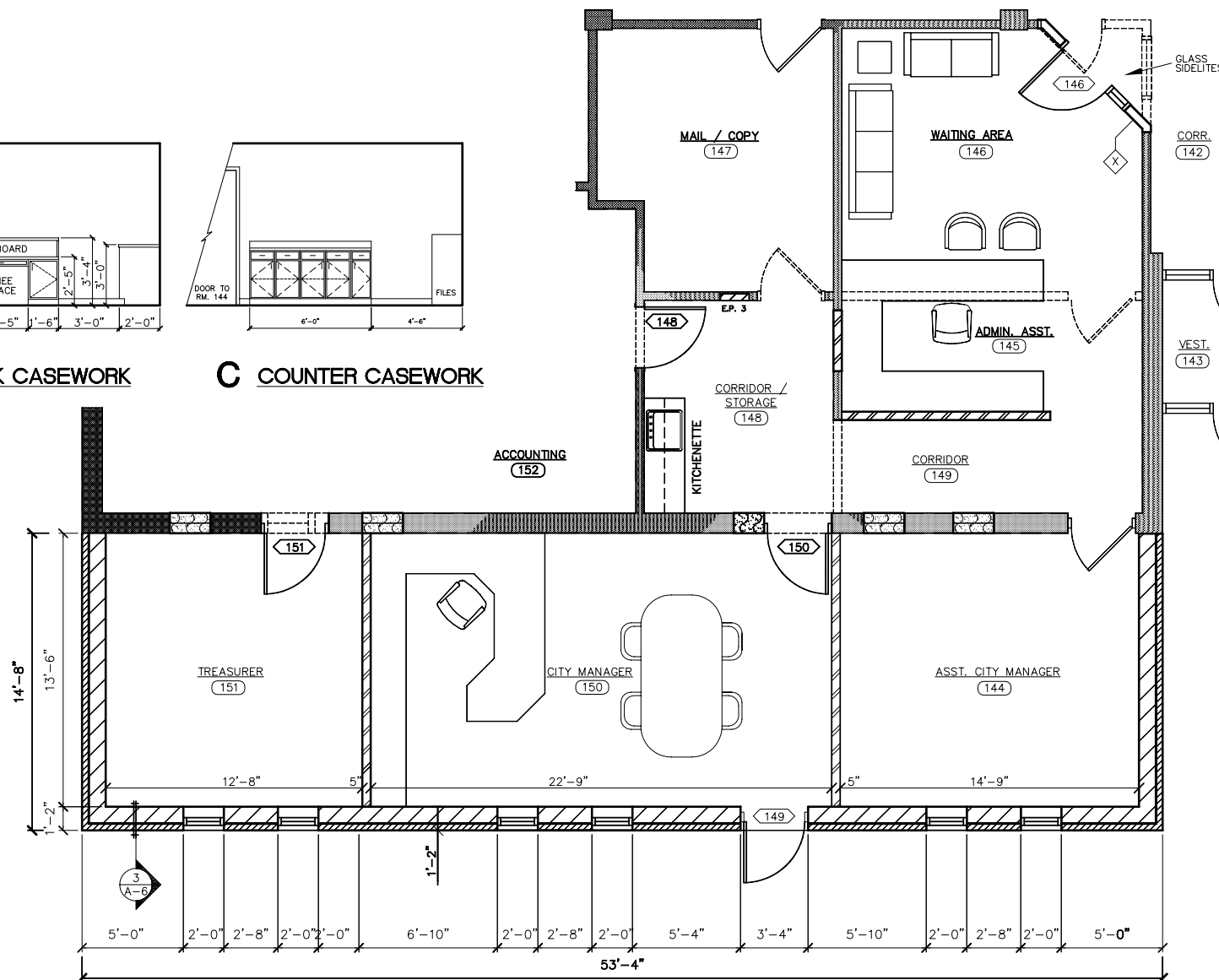
- REMOVE CEILING, METAL STUD AND GPDW WALL SYSTEM AS SHOWN. PATCH AND REPAIR ADJACENT WALLS AND FLOOR. PREPARE SURFACES FOR NEW FINISH. REFER TO FINISH SCHEDULE.
- REMOVE DOOR, FRAME AND HARDWARE COMPLETELY. IN-FILL OPENING WITH NEW 8" CMU.
- CONSTRUCT NEW METAL STUD FRAME WALL AND GPDW SYSTEM AS SHOWN ON DETAIL.
- REMOVE EXISTING BI-PARTING DOORS AND FRAME. IN-FILL OPENING WITH METAL STUDS AND GPDW SYSTEM AS SHOWN. PREPARE SURFACES FOR NEW FINISH. REFER TO FINISH SCHEDULE.
- REMOVE CARPET TO CASEWORK AND INSTALL NEW QUARRY TILE FLOOR FINISH.
- REMOVE DOOR, FRAME AND HARDWARE COMPLETELY.



5 PHASE 2 INTERIOR ELEVATIONS 148
SCALE: 1/4" = 1'-0"



5 PHASE 2 INTERIOR ELEVATIONS 146
SCALE: 1/4" = 1'-0"



WALL TYPES

- A** 5/8" TYPE "X" GYPSUM WALL BOARD ON 3 5/8" METAL STUDS AT 16" O.C., EXTEND TO ROOF STRUCTURE, BUILDING INSULATION, STEEL GIRTS WITH 3 5/8" METAL BACK-UP FOR 7/16" O.S.B. SHEATHING, "TYVEK" AIR FILTRATION BARRIER, AIR SPACE, 4" BRICK VENEER WAINSCOT EXTERIOR.
- B** 3 5/8" METAL STUDS AT 16" O.C. WITH 3 1/2" SOUND ATTENUATION BLANKET, 5/8" TYPE "X" GYPSUM BOARD (G.W.B.) BOTH SIDES, EXTEND WALL TO 3" ABOVE CEILING LINE. SEAL AT PERIMETER AND ALL PENETRATIONS.
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- D** 6" METAL STUDS AT 16" O.C., 5/8" TYPE "X" GYPSUM WALL BOARD (G.W.B.) EACH SIDE. PARTITION TO EXTEND TO BOTTOM OF STEEL ROOF PURLINS. SEAL AT PERIMETERS AND PENETRATIONS. (1 HOUR RATED, UL DES.)
- E** 3 5/8" METAL STUDS AT 16" O.C., 5/8" TYPE "X" GYPSUM WALL BOARD (G.W.B.) EACH SIDE. ONE SIDE TO EXTEND TO BOTTOM OF STEEL ROOF PURLINS, OTHER SIDE TO BOTTOM OF BEAM AT SECOND FLOOR. SEAL AT PERIMETERS AND PENETRATIONS.

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- NEW CMU
- NEW GWB PARTITION
- EXISTING DOOR TO REMAIN
- EXISTING DOOR & FRAME TO BE REMOVED
- NEW DOOR & FRAME
- DOOR DESIGNATION

REVISIONS BY

M&A
 Miller & Associates
 Consulting Engineers, P.C.
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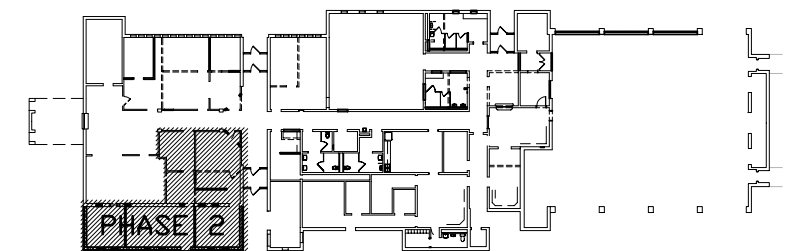
LEXINGTON MUNICIPAL BUILDING
PHASE 2 - FLOOR PLAN
 LEXINGTON, NEBRASKA

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 0 1"
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SCALE:	AS NOTED
PROJECT NO.	127-G1-098
DATE:	AUGUST 2007
FIELD BOOK	N/A
M&A DWG NO.	
DRAWN BY:	APRVD BY:
SHEET	OF

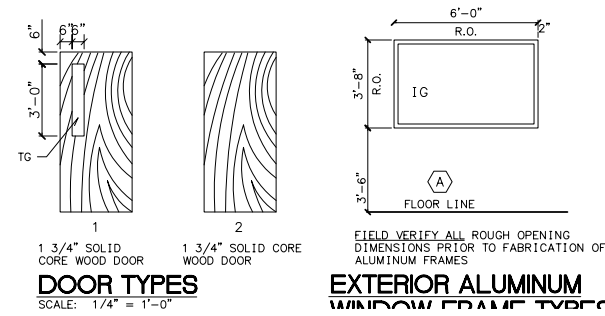


PHASE 2 - FLOOR PLAN
SCALE: 1/8" = 1'-0"

OCT 14, 2008 12:08:43 Location: G:\Projects\127\127-G1-098\Drawn\10-15-2008\A-2\FloorPlan.dwg

PHASE 3 - ROOM FINISH SCHEDULE																
ROOM NO.	ROOM DESIGNATION	FLOOR	BASE	WALLS	CEILING	REMARKS	WALLS				CEILING					
							NORTH	SOUTH	EAST	WEST	TYPE	THICKNESS	HEIGHT	TYPE	THICKNESS	
136	LOBBY															
150	RECEPTIONIST															
151	SPARE OFFICE															
152	BUILDING DEPARTMENT															
153	CORRIDOR															
154	BREAK ROOM															
155	VAULT															

PHASE 3 - DOOR SCHEDULE										
MARK	TYPE	WIDTH	HEIGHT	THICKNESS	FRAME	LABEL	HDWR.	DETAIL	REMARKS	
151	1	3'-0"	7'-0"	1 3/4"	AL #1	---	1	1, 2, 3		
154	1	3'-0"	7'-0"	1 3/4"	AL #2	---	2			



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DEMOLITION NOTES (KEYED TO PLAN)

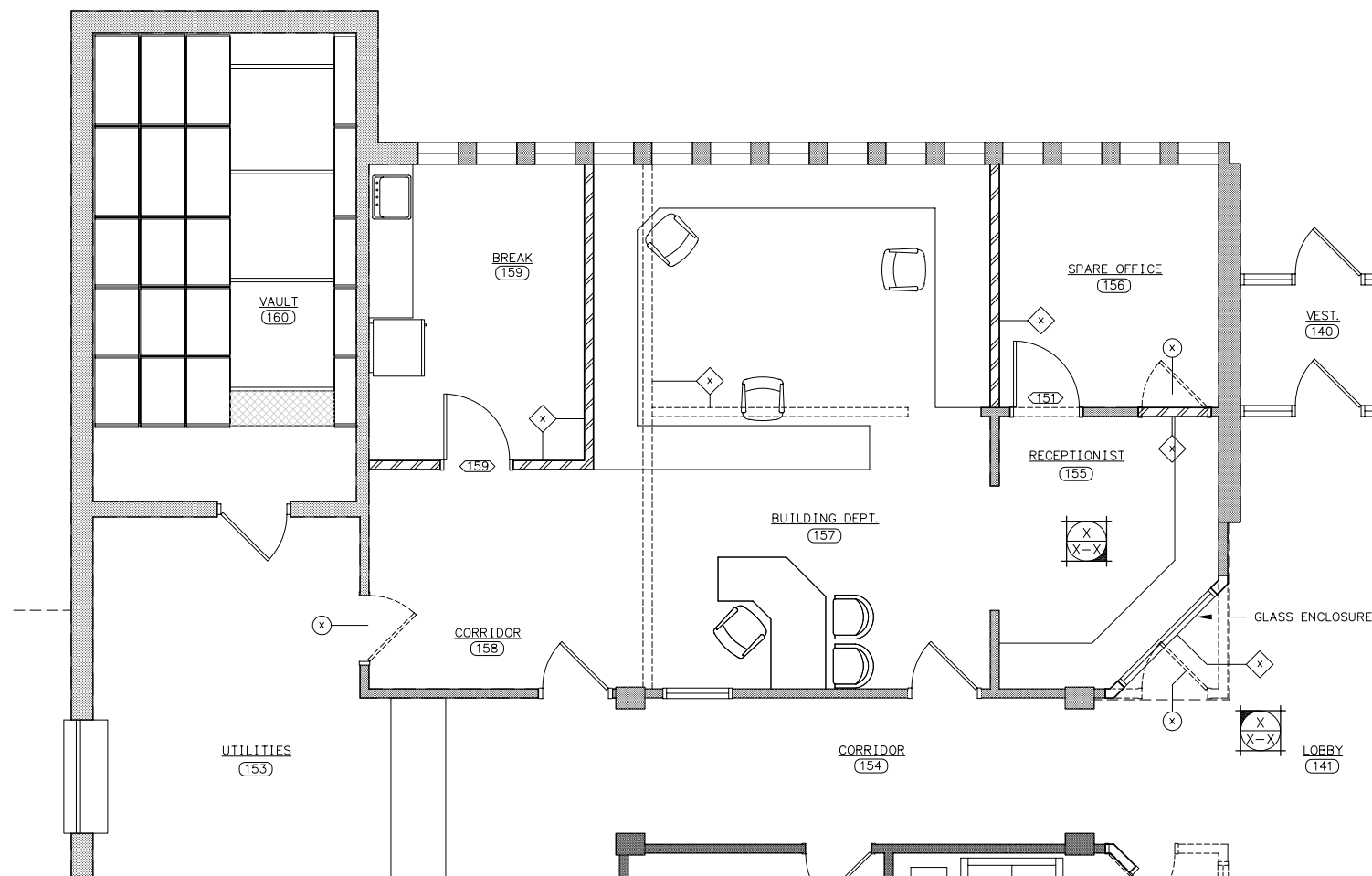
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- CONSTRUCT NEW METAL STUD FRAME WALL AND GPDW SYSTEM AS SHOWN ON DETAIL.
- REMOVE EXISTING BI-PARTING DOORS AND FRAME. IN-FILL OPENING WITH METAL STUDS AND GPDW SYSTEM AS SHOWN. PREPARE SURFACES FOR NEW FINISH. REFER TO FINISH SCHEDULE.
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WALL TYPES

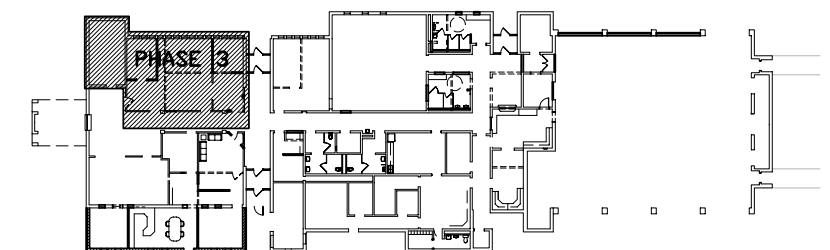
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- C** 3 5/8" METAL STUDS AT 16" O.C. WITH 3 1/2" SOUND ATTENUATION BLANKET, 5/8" TYPE "X" GYPSUM BOARD (G.W.B.) ONE SIDE, EXTEND WALL TO 3" ABOVE CEILING LINE. SEAL AT PERIMETER AND ALL PENETRATIONS.
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- E** 3 5/8" METAL STUDS AT 16" O.C., 5/8" TYPE "X" GYPSUM WALL BOARD (G.W.B.) EACH SIDE. ONE SIDE TO EXTEND TO BOTTOM OF STEEL ROOF PURLINS, OTHER SIDE TO BOTTOM OF BEAM AT SECOND FLOOR. SEAL AT PERIMETERS AND PENETRATIONS.

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- NEW CMU
- NEW GWB PARTITION
- EXISTING DOOR TO REMAIN
- EXISTING DOOR & FRAME TO BE REMOVED
- NEW DOOR & FRAME
- DOOR DESIGNATION



PHASE 3 - FLOOR PLAN
SCALE: 1/8" = 1'-0"



KEY PLAN
NO SCALE

REVISIONS BY

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Kearney, NE (308) 234-6456
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LEXINGTON MUNICIPAL BUILDING
PHASE 3 - FLOOR PLAN
LEXINGTON, NEBRASKA

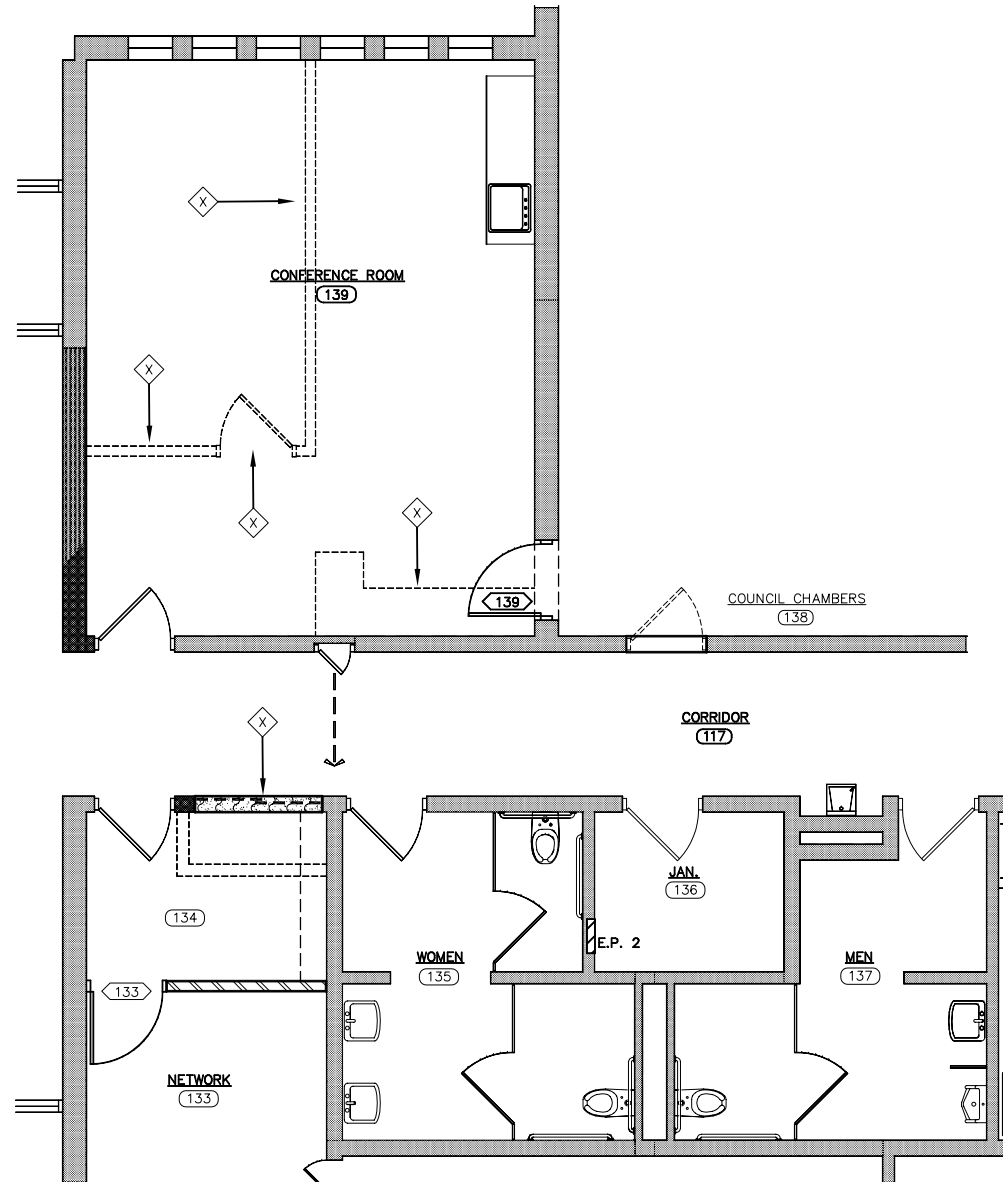
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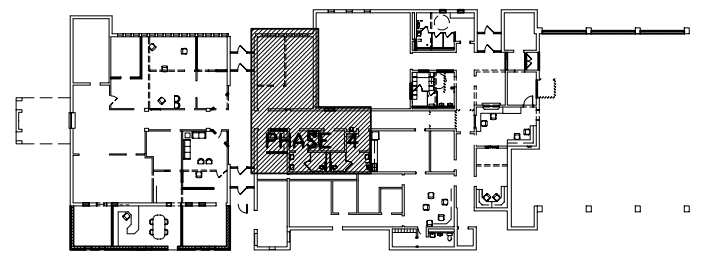
SCALE: AS NOTED
PROJECT NO. 127-G1-098
DATE: AUGUST 2007
FIELD BOOK N/A
DRAWN BY: APRVD BY:
SHEET **A-3** OF

PHASE 4 - ROOM FINISH SCHEDULE																			
ROOM NO.	ROOM DESIGNATION	FLOOR	BASE	WALLS	CEILING	REMARKS	WALLS				CEILING				CEILING HEIGHT	REMARKS			
							NORTH	SOUTH	EAST	WEST	TYPE	THICKNESS	TYPE	THICKNESS					
127	MEN																		
128	JANITOR																		
129	WOMEN																		
130	NETWORK																		
131																			
132	CORRIDOR																		
134	CONFERENCE ROOM																		

PHASE 4 - DOOR SCHEDULE									
MARK	TYPE	WIDTH	HEIGHT	THICKN'S	FRAME	LABEL	HDWR.	DETAIL	REMARKS
130	I	3'-0"	7'-0"	1 3/4"	AL #1	----	1	DETAIL 1, 2, 3	
134		3'-0"	7'-0"	1 3/4"					



PHASE 4 - FLOOR PLAN
SCALE: 1/8" = 1'-0"



KEY PLAN
NO SCALE

GENERAL DEMOLITION NOTES

CONTRACTOR IS RESPONSIBLE FOR ON-SITE VISITS TO DETERMINE THE ACTUAL CONDITIONS AND EXTENT OF WORK REQUIRED FOR DEMOLITION.

ANY DAMAGE TO THE PROPERTY, WHICH IS TO REMAIN IN USE, SHALL BE REPAIRED WITHOUT ADDITIONAL EXPENSE TO THE OWNER.

ITEMS SCHEDULED FOR DEMOLITION INCLUDE, BUT NOT LIMITED TO: DOORS, WIRING, ELECTRICAL FIXTURES, GALVANIZED AND COPPER PIPING AND MECHANICAL EQUIPMENT. TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE IMMEDIATELY.

DEMOLITION NOTES (KEYED TO PLAN)

- 1 REMOVE CEILING, METAL STUD AND GPDW WALL SYSTEM AS SHOWN. PATCH AND REPAIR ADJACENT WALLS AND FLOOR. PREPARE SURFACES FOR NEW FINISH. REFER TO FINISH SCHEDULE.
- 2 REMOVE DOOR, FRAME AND HARDWARE COMPLETELY. IN-FILL OPENING WITH NEW 8" CMU.
- 3 CONSTRUCT NEW METAL STUD FRAME WALL AND GPDW SYSTEM AS SHOWN ON DETAIL.
- 4 REMOVE EXISTING BI-PARTING DOORS AND FRAME. IN-FILL OPENING WITH METAL STUDS AND GPDW SYSTEM AS SHOWN. PREPARE SURFACES FOR NEW FINISH. REFER TO FINISH SCHEDULE.
- 5 REMOVE CARPET TO CASEWORK AND INSTALL NEW QUARRY TILE FLOOR FINISH.
- 6 REMOVE DOOR, FRAME AND HARDWARE COMPLETELY.

WALL TYPES

- A 5/8" TYPE "X" GYPSUM WALL BOARD ON 3 5/8" METAL STUDS AT 16" O.C., EXTEND TO ROOF STRUCTURE, BUILDING INSULATION, STEEL GIRTS WITH 3 5/8" METAL BACK-UP FOR 7/16" O.S.B. SHEATHING, "TYVEK" AIR FILTRATION BARRIER, AIR SPACE, 4" BRICK VENEER WAINSCOT EXTERIOR.
- B 3 5/8" METAL STUDS AT 16" O.C. WITH 3 1/2" SOUND ATTENUATION BLANKET, 5/8" TYPE "X" GYPSUM BOARD (G.W.B.) BOTH SIDES, EXTEND WALL TO 3" ABOVE CEILING LINE. SEAL AT PERIMETER AND ALL PENETRATIONS.
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- NEW CMU
- NEW GWB PARTITION
- EXISTING DOOR TO REMAIN
- EXISTING DOOR & FRAME TO BE REMOVED
- NEW DOOR & FRAME
- DOOR DESIGNATION

REVISIONS	BY
Miller & Associates Consulting Engineers, P.C. Kearney, NE (308) 234-6456 McCook, NE (308) 345-3710	
LEXINGTON MUNICIPAL BUILDING PHASE 4 - FLOOR PLAN LEXINGTON, NEBRASKA	

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M&A DWG NO.	
DRAWN BY:	APRVD BY:
SHEET	OF
A-4	